

P R O P O S E D

# RESIDENTIAL CARE FACILITY

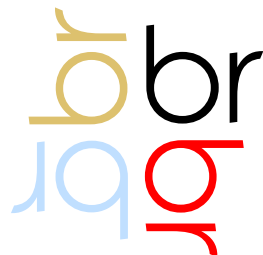
11-19 Frenchmans Road, Randwick, NSW

Drawing List

DWG. No.	Drawing Title	Scale	Size
DA00	- Cover Page	NTS	A1
DA01	- Site Plan	1:200	A1
DA02	- Site Analysis	1:200	A1
DA02a	- Site Analysis - Locality Plan	NTS	A1
DA02b	- View Analysis - Site Location	NTS	A1
DA03	- Lower Basement Floor Plan	1:200	A1
DA04	- Basement Floor Plan	1:200	A1
DA05	- Ground Floor Plan	1:200	A1
DA06	- First Floor Plan	1:200	A1
DA07	- Second Floor Plan	1:200	A1
DA08	- Third Floor Plan	1:200	A1
DA09	- Roof Plan	1:200	A1
DA10	- Sections (A,B & C)	1:200	A1
DA11	- Sections (D, E & F)	1:200	A1
DA12	- Section (G & H)	1:200	A1
DA13	- Elevations (North, East, South & West)	1:200	A1
DA13a	- Sections @ Boundary	1:100	A1
DA14	- Street Elevations Proposed	1:200	A1
DA15	- Street Elevation @ Frenchmans Road - Photomontage	NTS	A1
DA16	- Street Elevation @ McLennan Avenue - Photomontage	NTS	A1
DA17	- Shadow Diagrams Existing & Proposed (21 June 8am. & 12 pm.)	1:500	A1
DA17a	- Shadow Diagrams Existing & Proposed (21 June 9am. & 3 pm.)	1:500	A1
DA18	- Shadow diagrams Existing & Proposed (21 June 4 pm.)	1:500	A1
DA18a	- Direct Sun Analysis(21 June 8 am.)	NTS	A1
DA18b	- Direct Sun Analysis(21 June 9 am.)	NTS	A1
DA18c	- Direct Sun Analysis(21 June 12 pm.)	NTS	A1
DA18d	- Direct Sun Analysis(21 June 3 pm.)	NTS	A1
DA18e	- Direct Sun Analysis(21 June 4 pm.)	NTS	A1
DA18f	- 3D Image Showing Built form penetrating 12m Height	NTS	A1
DA19	- Solar Access Diagrams	NTS	A1
DA19a	- Solar Access Diagrams	NTS	A1
DA19b	- Solar Access Diagrams	NTS	A1
DA19c	- Solar Access Diagrams	NTS	A1
DA20	- Gross Floor Area Diagram - Ground Floor Plan	1:200	A1
DA21	- Gross Floor Area Diagram - First Floor Plan	1:200	A1
DA22	- Gross Floor Area Diagram - Second Floor Plan	1:200	A1
DA23	- Gross Floor Area Diagram - Third Floor Plan	1:200	A1
DA23a	- Gross Floor Area Diagram - Basement Floor Plan	1:200	A1
DA24	- Demolition Plan	1:200	A1
DA24a	- Landscape and Deep Soil Areas	NTS	A1



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DEVELOPMENT APPLICATION RE-ISSUE  
01.06.2021

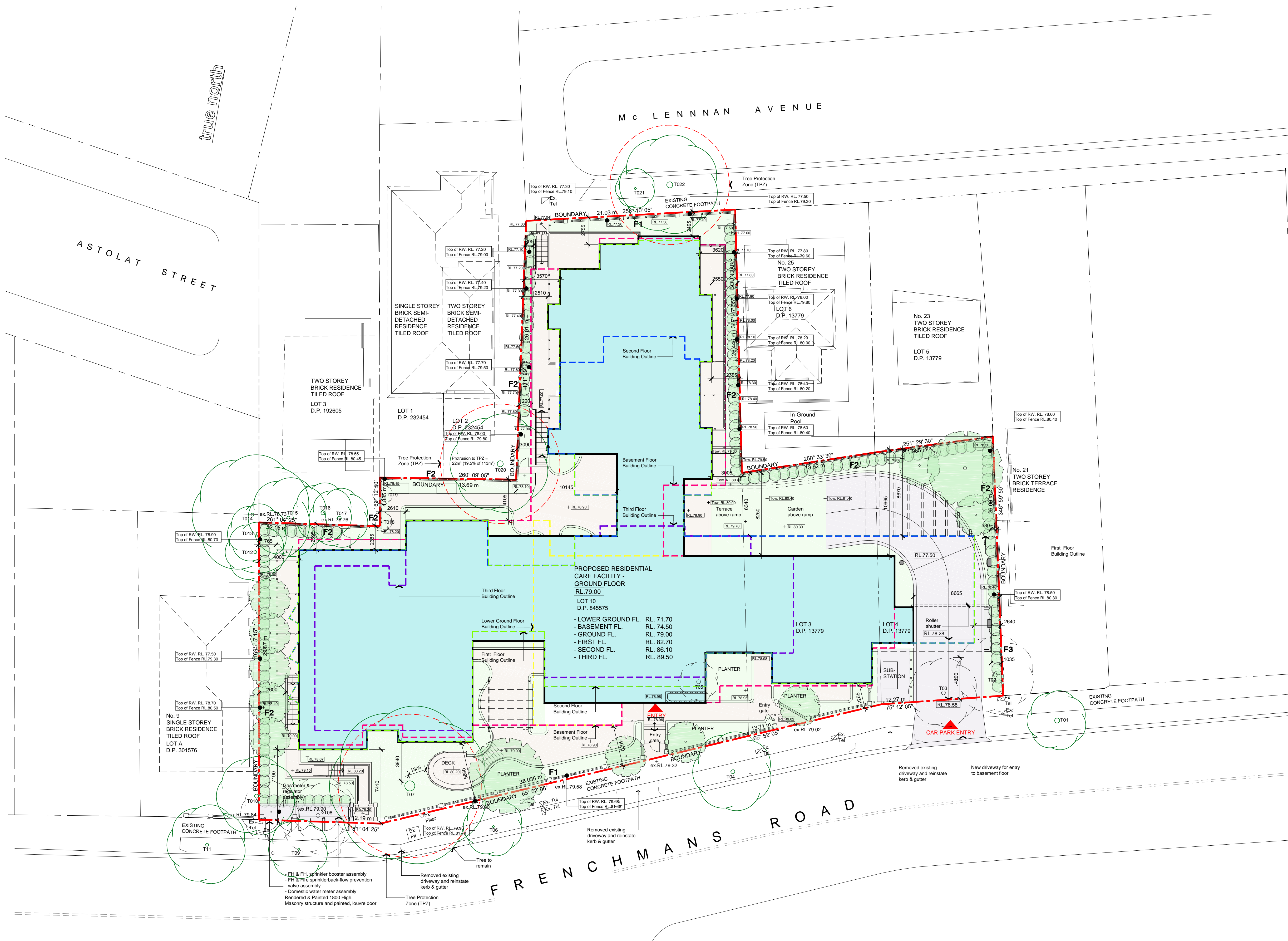


## DEVELOPMENT STATISTIC

SITE AREA		2,709.7 m <sup>2</sup>	
	BCA FLOOR AREA	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)	
LOWER BASEMENT.FL.	521.6 m <sup>2</sup>	-	
BASEMENT.FL.	1,557.2 m <sup>2</sup>	83.0 m <sup>2</sup>	
GROUND FL.	1,233.1 m <sup>2</sup>	737.3 m <sup>2</sup>	
FIRST FL.	1,300.6 m <sup>2</sup>	1,151.1 m <sup>2</sup>	
SECOND FL.	1,157.3 m <sup>2</sup>	1,012.0 m <sup>2</sup>	
THIRD FL.	593.5 m <sup>2</sup>	558.0 m <sup>2</sup>	
TOTAL	6,363.3 m <sup>2</sup>	3,458.4 m <sup>2</sup>	
FSR	1.276 : 1		
CARPARKING / AMBULANCE		19+1= 20 spaces	
LANDSCAPE AREA		1,157.2 m <sup>2</sup>	
LANDSCAPE AREA PER BED		13.46m <sup>2</sup>	
RESIDENT ACCOMMODATION			
	1 BED	2 BED	TOTAL
GROUND FL.	16	0	16
FIRST FL.	24	4 x 2	32
SECOND FL.	21	3 x 2	27
THIRD FL.	11	0	11
TOTAL NUMBER OF THIRD FL. ILUs			= 2
TOTAL NUMBER OF BEDS			= 86
TOTAL NUMBER OF ROOMS			77 + 2 = 79

## LEGEND

	PROPOSED RCF
	BOUNDARY
	SOFT LANDSCAPE
	HARD LANDSCAPE
	FENCE TYPE 1
	FENCE TYPE 2
	+ ex RL.76.80 EXISTING LEVEL RL.
	+ [RL.76.80] NEW FINISHED LEVEL RL.
	+ [TOW RL.] PROPOSED TOP OF WALL LEVEL
	--- LOWER GROUND FLOOR
	--- BASEMENT FLOOR
	--- FIRST FLOOR
	--- SECOND FLOOR
	--- THIRD FLOOR
	--- PROPOSED ROADS AND DRIVEWAYS
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	NEW TREES
<b>F1</b>	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH + EXISTING FENCE
<b>F2</b>	1800H COLORBOND STEEL FENCING & RETAINING WALL + EXISTING FENCE
<b>F3</b>	1800H COLORBOND STEEL FENCING + EXISTING FENCE
NOTE: - ALL EXISTING FENCING EXCEPT FOR FRENCHMANS ROAD AND Mc LENNAN AVENUE BOUNDARIES TO REMAIN. NEW FENCING TO BE BUILT INSIDE THE BOUNDARY ADJACENT	



0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick  
Drawing  
SITE PLAN

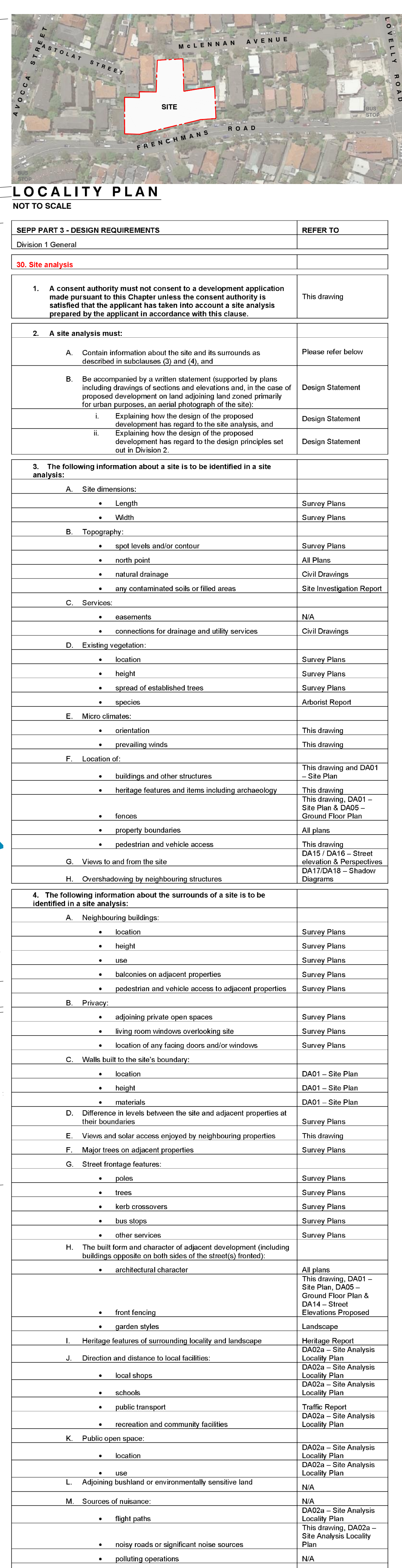


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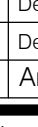

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Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	SS		
Amendment	B		
		1912/	DA01





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LEGEND		
	OUTLINE OF EXISTING SUMMITCARE BUILDING G/F	
	OUTLINE OF PROPOSED SUMMITCARE BUILDING G/F	
	BOUNDARY	
	VIEWS	
	PEDESTRIAN OR VEHICLE ACCESS	
	EXISTING TREES TO REMAIN	
	EXISTING TREES TO BE DEMOLISHED	
	PROPOSE 1800H FENCE AND LANDSCAPE SCREENING FOR PRIVACY SCREENING REFER TO LANDSCAPE DOCUMENTS FOR DETAIL	
	OCCASIONAL SUMMER BREEZES	
	COOL SUMMER WINDS	
	HOT SUMMER WINDS	
	COLD WINTER WINDS	
	TRAFFIC NOISE	
	WINDOW OF NEIGHBOURING BUILDINGS	

**NOTES:**

- REFER TO SURVEY DWGS FOR NEIGHBOURING PROPERTIES' WINDOWS AND DOORS' SILL AND HEAD HEIGHTS.
- PLANT SPECIES REFER TO ARBORIST REPORT
- REFER TO DA01 - SITE PLAN FOR FENCING TYPES, RETAINING WALLS LOCATION, HEIGHT AND DETAILS

B	Development Application Re-Issue	01.06.202
A	Development Application Re-Issue	14.05.202
No.	Amendment	Date

Project  
**SUMMIT CARE**  
 11-19 Frenchmans Road, Randwick

Drawing  
**SITE ANALYSIS**



WARMTH WORTH WELLBEING

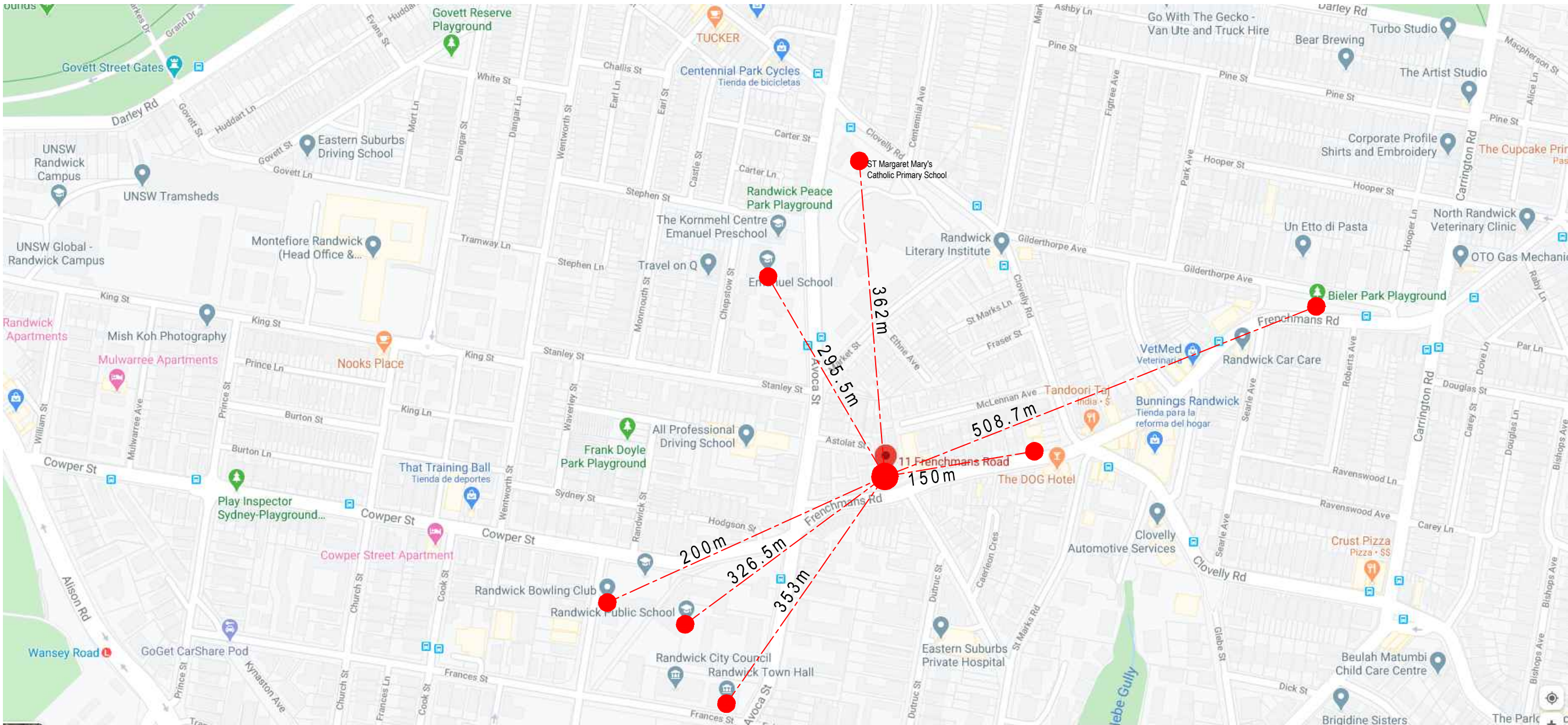
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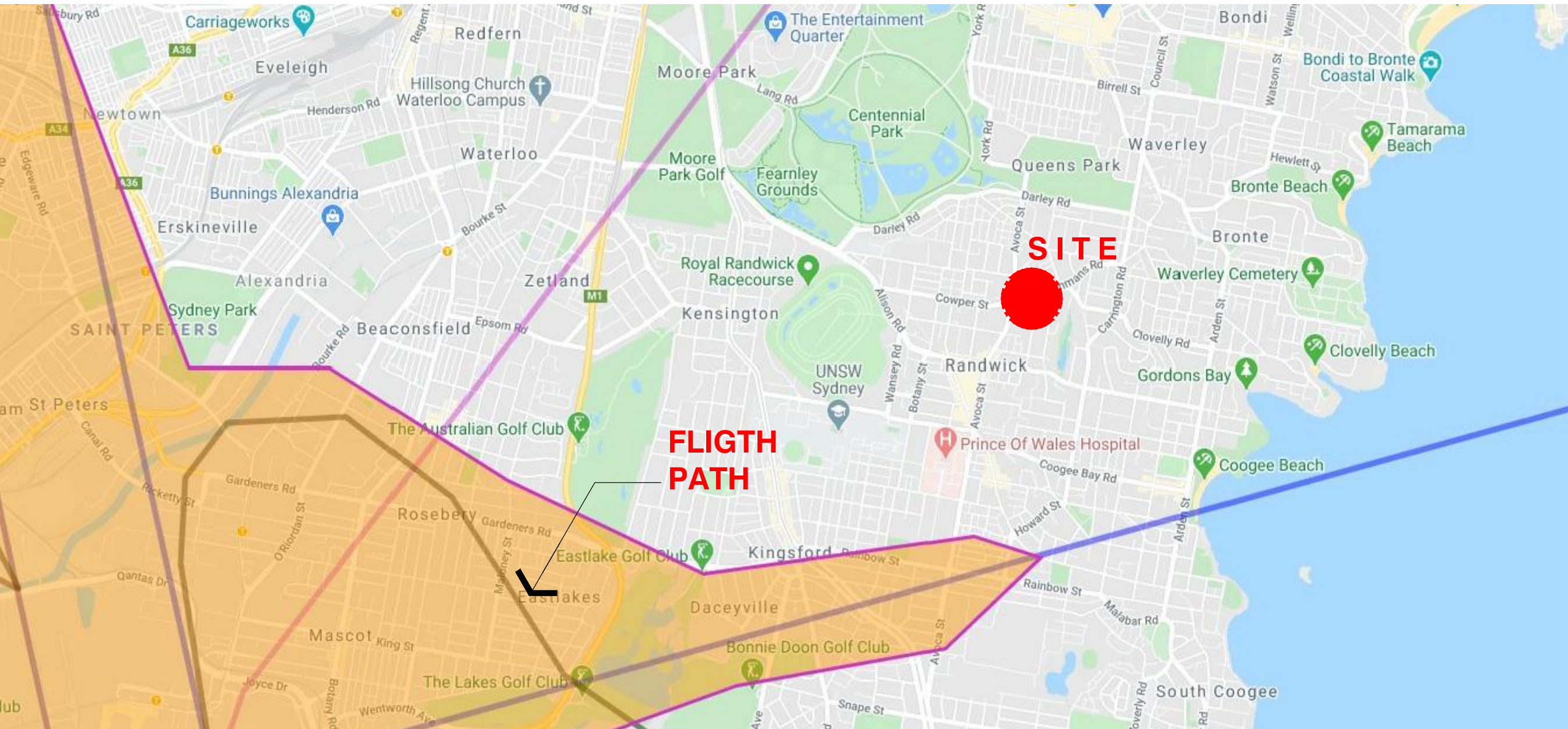
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	Date	JULY 2019	Job No. : Drawing
	Scale	AS SHOWN	
	Drawn	SS	
	Amendment	B	
		1912 / DA02	

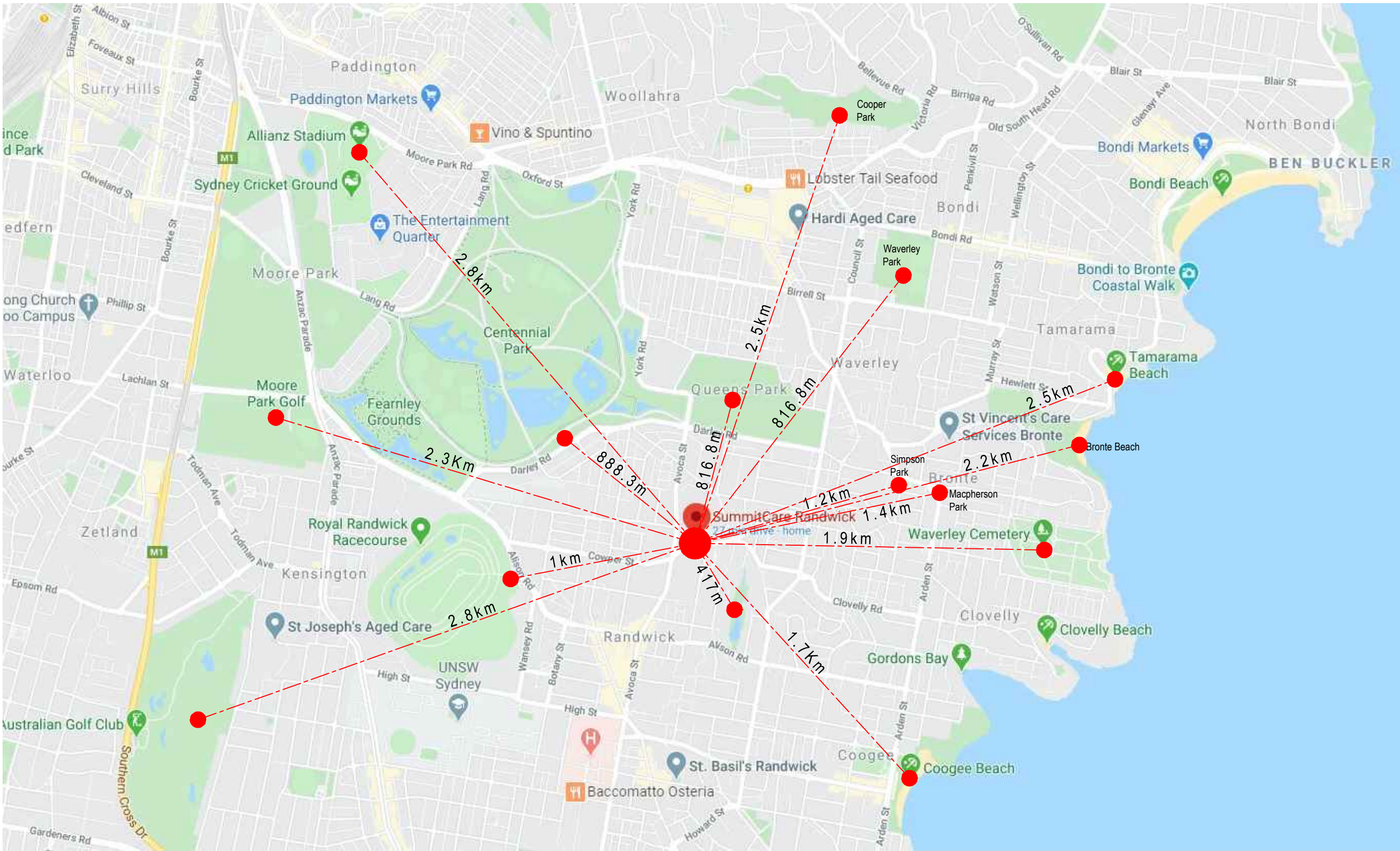




DIRECTIONS & DISTANCES TO LOCAL FACILITY PLAN



FLIGHT PATH PLAN



PUBLIC OPEN SPACE PLAN



LOCATION PLAN

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
SITE ANALYSIS - LOCALITY PLAN

Date	JULY 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	SS		
Amendment	B		





A	Development Application Issue	01.06.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick  
Drawing  
VIEW ANALYSIS SITE LOCATION



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**rg**

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Date	JULY 2019	Job No.	Drawing
Scale	AS SHOWN	1912 /	DA02b
Drawn			
Amendment	A		



## LEGEND

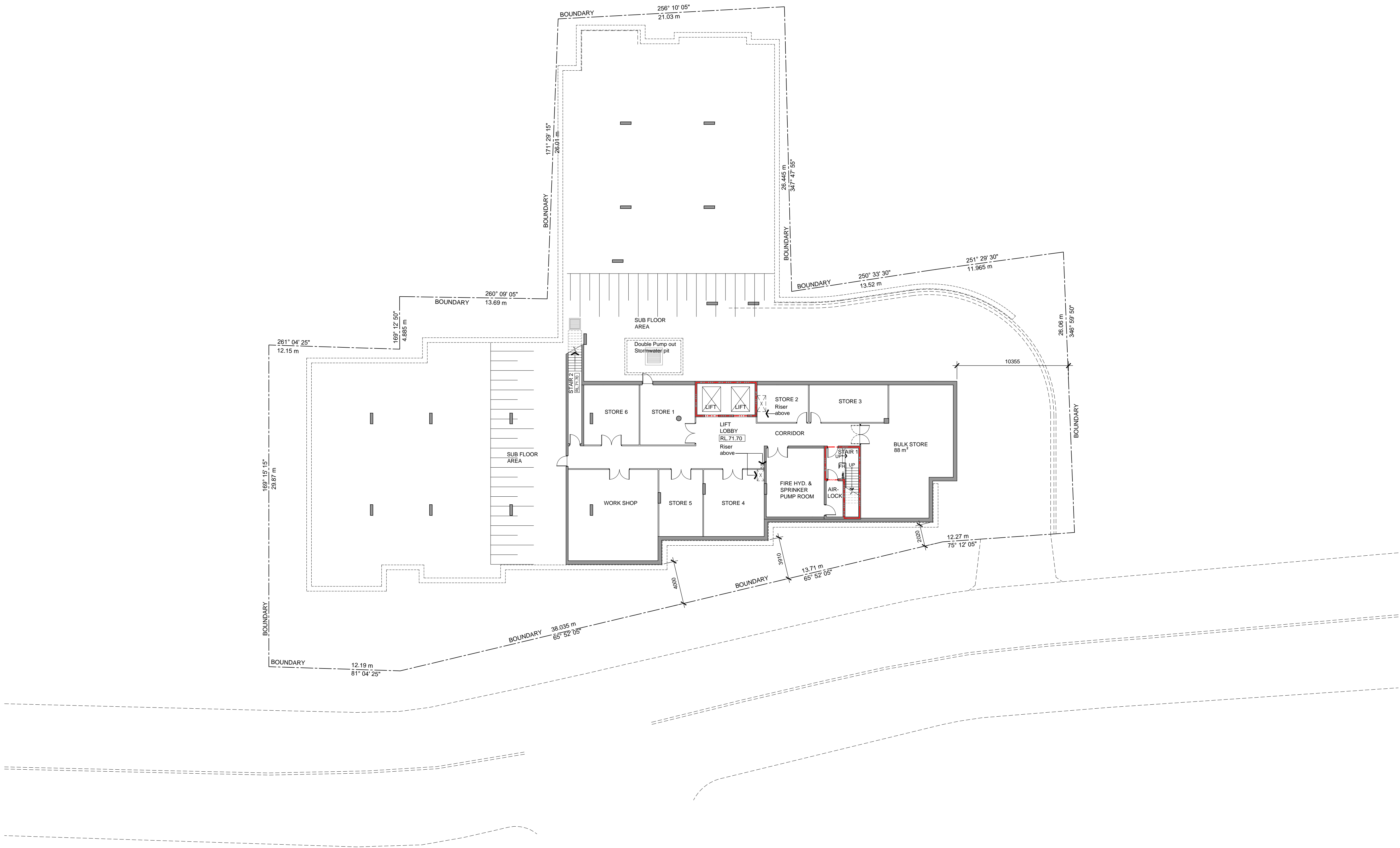
	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	NEW TREES

## ACOUSTIC REQUIREMENTS

	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction		Total System R-Value (m²K/W)	
J1.3	Roof and ceiling construction	≥ 3.70	
J1.4	Roof lights	N/A	
J1.5a	Total System external wall construction (all facades)	≥ 2.39	
J1.5b	Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00	
J1.6a	Floor construction (above an unconditioned zone)	≥ 2.00	
J1.6b	Floor construction (concrete slab on ground)	No insulation required	
Glazing - Frame Construction (Uniform solution)		Total System SHGC	Total System SHGC
J1.5c	Total Window Frame construction	≤ 4.00	≤ 0.29




B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick  
Drawing  
LOWER BASEMENT FLOOR PLAN



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	Date	JAN 2019	Job No. : Drawing  1912 / DA03
	Scale	AS SHOWN	
	Drawn	SS / WW	
	Amendment	B	

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SCALE: 1:400 @ A3



#### LEGEND

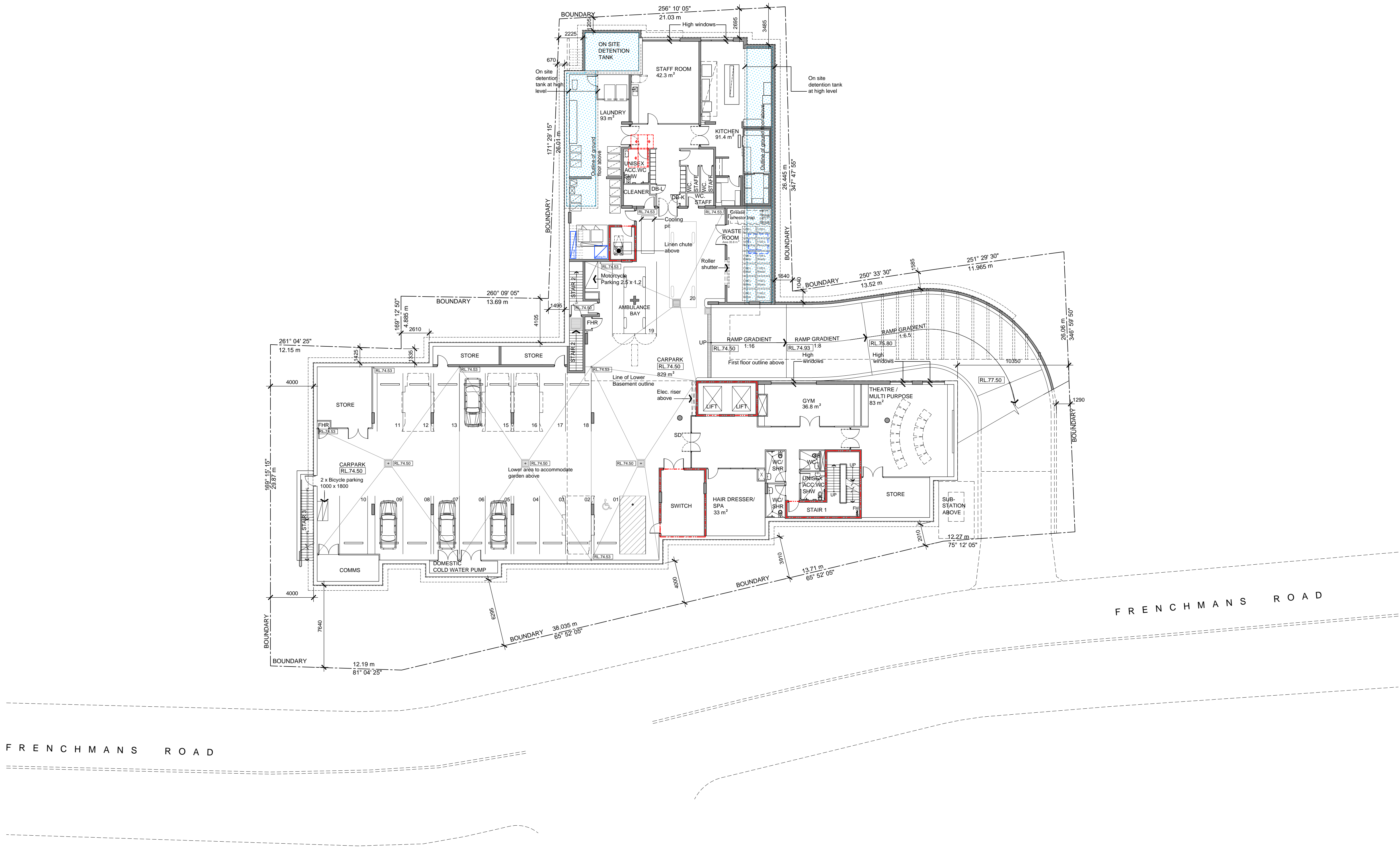
	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	NEW TREES

#### ACOUSTIC REQUIREMENTS

	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

#### NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction		Total System R-Value (m²K/W)	
J1.3	Roof and ceiling construction	≥ 3.70	
J1.4	Roof lights	N/A	
J1.5a	Total System external wall construction (all facades)	≥ 2.39	
J1.5b	Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00	
J1.6a	Floor construction (above an unconditioned zone)	≥ 2.00	
J1.6b	Floor construction (concrete slab on ground)	No insulation required	
Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
J1.5c Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick  
Drawing  
BASEMENT FLOOR PLAN



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Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN	2017 /	DA04
Drawn	SS / WW		
Amendment	B		





## LEGEND

	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	NEW TREES

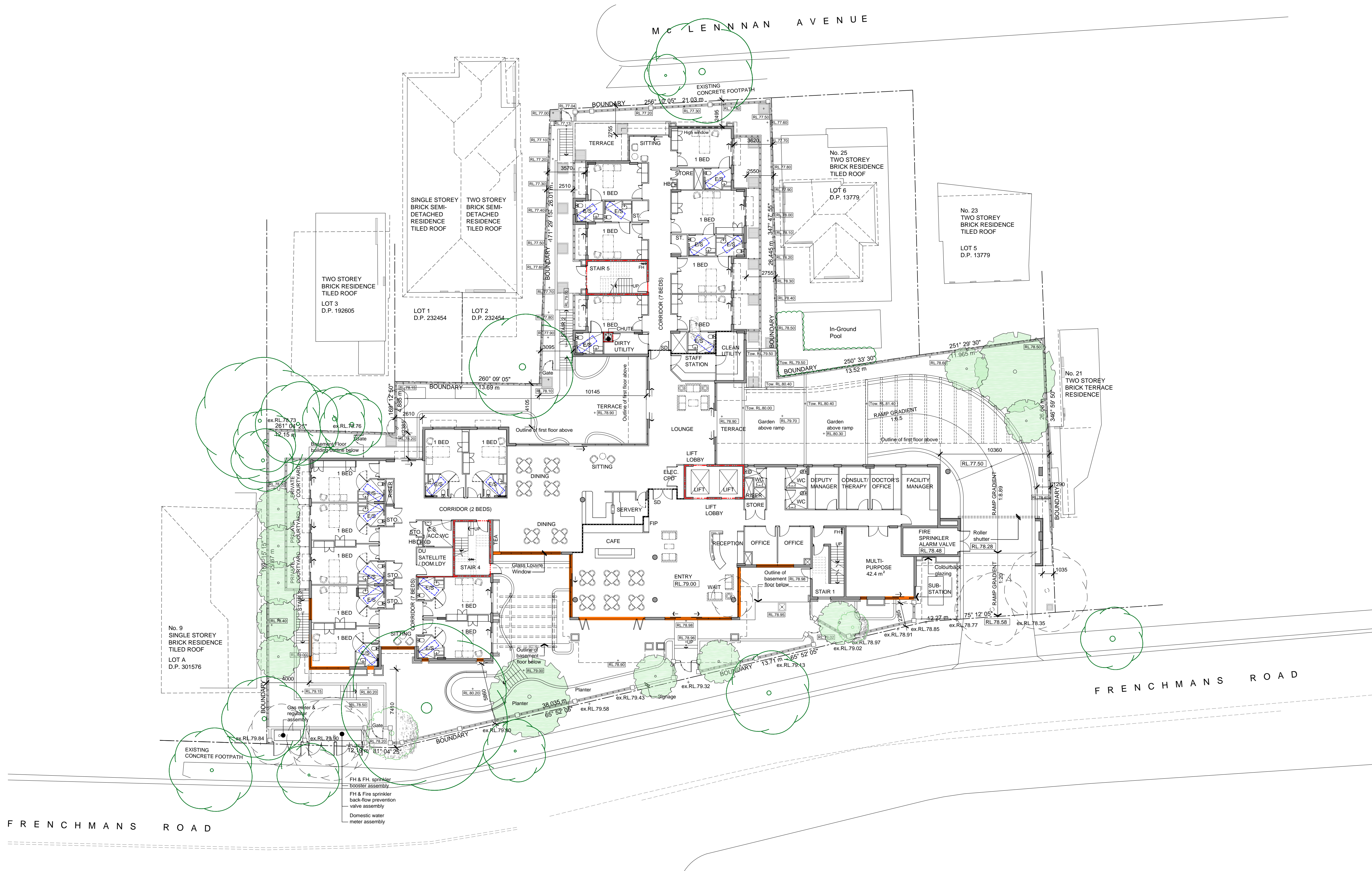
## ACOUSTIC REQUIREMENTS

	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction	Total System R-Value (m <sup>2</sup> K/W)
J1.3 Roof and ceiling construction	≥ 3.70
J1.4 Roof lights	N/A
J1.5a Total System external wall construction (all facades)	≥ 2.39
J1.5b Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00
J1.6a Floor construction (above an unconditioned zone)	≥ 2.00
J1.6b Floor construction (concrete slab on ground)	No insulation required

Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
J1.5c Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick  
Drawing  
GROUND FLOOR PLAN



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Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	SS		2017 / DA05
Amendment	B		



## LEGEND

	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	NEW TREES

## ACOUSTIC REQUIREMENTS

	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction		Total System R-Value (m²K/W)	
J1.3	Roof and ceiling construction	≥ 3.70	
J1.4	Roof lights	N/A	
J1.5a	Total System external wall construction (all facades)	≥ 2.39	
J1.5b	Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00	
J1.6a	Floor construction (above an unconditioned zone)	≥ 2.00	
J1.6b	Floor construction (concrete slab on ground)	No insulation required	
Glazing - Frame Construction (Uniform solution)		Total System SHGC	Total System SHGC
J1.5c	Total Window Frame construction	≤ 4.00	≤ 0.29



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick  
Drawing  
FIRST FLOOR PLAN



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	Date	JAN 2019	Job No.	Drawing
	Scale	AS SHOWN		
	Drawn	SS		2017 / DA06
	Amendment	B		



## LEGEND

	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	NEW TREES

## ACOUSTIC REQUIREMENTS

	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
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## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction		Total System R-Value (m²K/W)		
J1.3	Roof and ceiling construction	≥ 3.70		
J1.4	Roof lights	N/A		
J1.5a	Total System external wall construction (all facades)	≥ 2.39		
J1.5b	Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00		
J1.6a	Floor construction (above an unconditioned zone)	≥ 2.00		
J1.6b	Floor construction (concrete slab on ground)	No insulation required		
Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC	
J1.5c	Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
SECOND FLOOR PLAN



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0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3

	Date	JAN 2019	Job No.	Drawing
	Scale	1:200 @ A1		
	Drawn	SS		2017 / DA07
	Amendment	B		



BASIX and Thermal Comfort Inclusions

Floors	Concrete between levels, no insulation required
Walls	External walls: Brick Veneer with R2.0 insulation (insulation only value) External colour: Medium (0.475<SA<0.7) Inter-tenancy walls: Minimum 75mm Hebel Power Panel to walls adjacent to neighbours and hallways, no insulation required. Internal walls (within units): Plasterboard on studs
Windows	Aluminium framed double glazing: U-value: 3.40 (equal to or lower than) SHGC: 0.33 (±10%) Given values are AFRC total window system values (glass and frame) Note: Operability modelled as per BASIX Thermal Protocol – 4.14.2 and NatHERS Technical Note 1.2 – 10.11 with regards to restricted openings
Ceilings	Plasterboard ceiling with R3.0 insulation (insulation only value) to where roof is above Plasterboard ceiling, no insulation where neighbouring units are above. Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and Sealed LED down lights at a maximum of one every 2.5m2
Roof	Metal roof with foil backed blanket (Ru1.3 and Rd1.3) External colour: Dark (SA > 0.7)
Floor coverings	Tiles to throughout
Hot water system	Central gas-fired boiler with R1.0 (-38mm) insulation to ring main and supply risers
Fixtures	Showerheads: 4.0 star low flow (>4.5L but <=6.0L/min) Toilets: 4.0 star Kitchen taps: 5.0 star Bathroom vanity taps: 5.0 star
Cooling systems	Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 3 star
Heating systems	Ceiling fans + single phase air conditioning to living areas and bedrooms: Min. 3 star
Appliances	Dish washer: 3.0 star water & 4.0 star energy rating Clothes washer: 3.0 star water & 4.0 star energy rating Clothes dryer: 6.0 star energy rating Refrigerator: 3.5 star energy rating
Ventilation in units	Kitchen - Individual fan, externally ducted to façade, manual on/off switch Bathrooms - Individual fan, externally ducted to façade, manual on/off switch Laundry - Individual fan, externally ducted to façade, manual on/off switch
Other	Electric cooktop & electric oven Well-ventilated fridge space Air conditioning day-night zoned between bedrooms and living areas

LEGEND

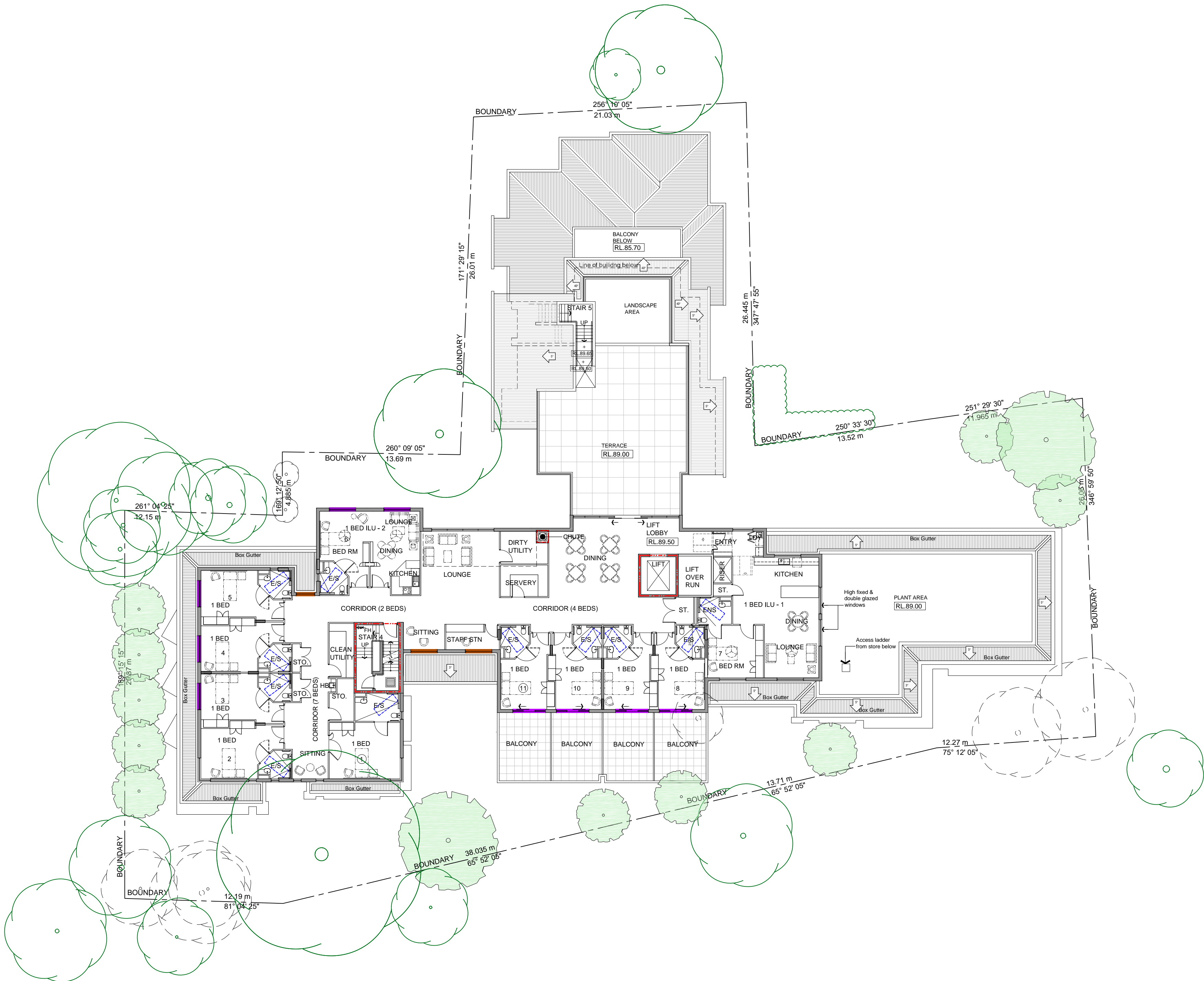
---	BOUNDARY
▬	MASONRY WALL
▬	STUD WALL
---	OUTLINE OF WALL ABOVE / BELOW
---	ROOF OUTLINE
---	NEW FENCE
+ ex.RL.00.00	EXISTING LEVELS
[RL.00.00]	PROPOSED LEVELS
U	PROPOSED DOOR
W	PROPOSED WINDOW
□	MOBILE BATH
⊙	CEILING FAN
⊙	EXISTING TREES TO REMAIN
⊙	EXISTING TREES TO BE REMOVED
⊙	NEW TREES

ACOUSTIC REQUIREMENTS

▬	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
▬	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
▬	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction		Total System R-Value (m²K/W)	
J1.3	Roof and ceiling construction	≥ 3.70	
J1.4	Roof lights	N/A	
J1.5a	Total System external wall construction (all facades)	≥ 2.39	
J1.5b	Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00	
J1.6a	Floor construction (above an unconditioned zone)	≥ 2.00	
J1.6b	Floor construction (concrete slab on ground)	No insulation required	
Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
J1.5c Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
THIRD FLOOR PLAN



boffa robertson group  
architecture, health and aged care planning, project management

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Fax: (02) 9406 7009  
Email: brgroup@brgr.net

⌚	Date	JAN 2019	Job No.	Drawing
	Scale	AS SHOWN		
	Drawn	SS / WW	2017 /	DA08
	Amendment	B		



LEGEND

	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	NEW TREES

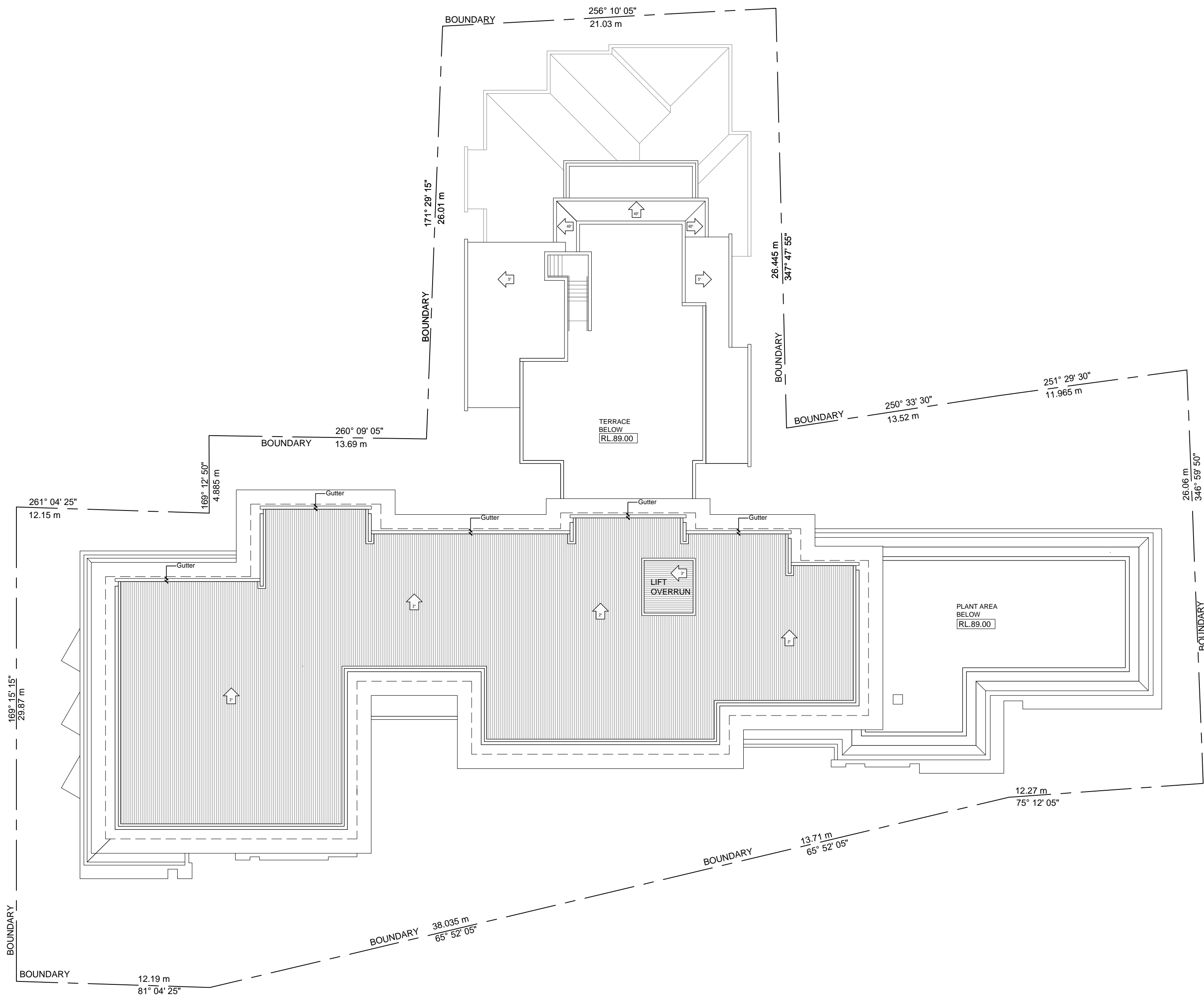
ACOUSTIC REQUIREMENTS

	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction	Total System R-Value (m²K/W)
J1.3 Roof and ceiling construction	≥ 3.70
J1.4 Roof lights	N/A
J1.5a Total System external wall construction (all facades)	≥ 2.39
J1.5b Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00
J1.6a Floor construction (above an unconditioned zone)	≥ 2.00
J1.6b Floor construction (concrete slab on ground)	No insulation required

Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
J1.6c Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
ROOF PLAN



**boffa robertson group**  
architecture, health and aged care planning, project management

**br**  
1990

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	Date	JAN 2019	Job No.	Drawing
	Scale	AS SHOWN		
	Drawn	SS / WW	2017 /	DA09
	Amendment	B		



#### LEGEND

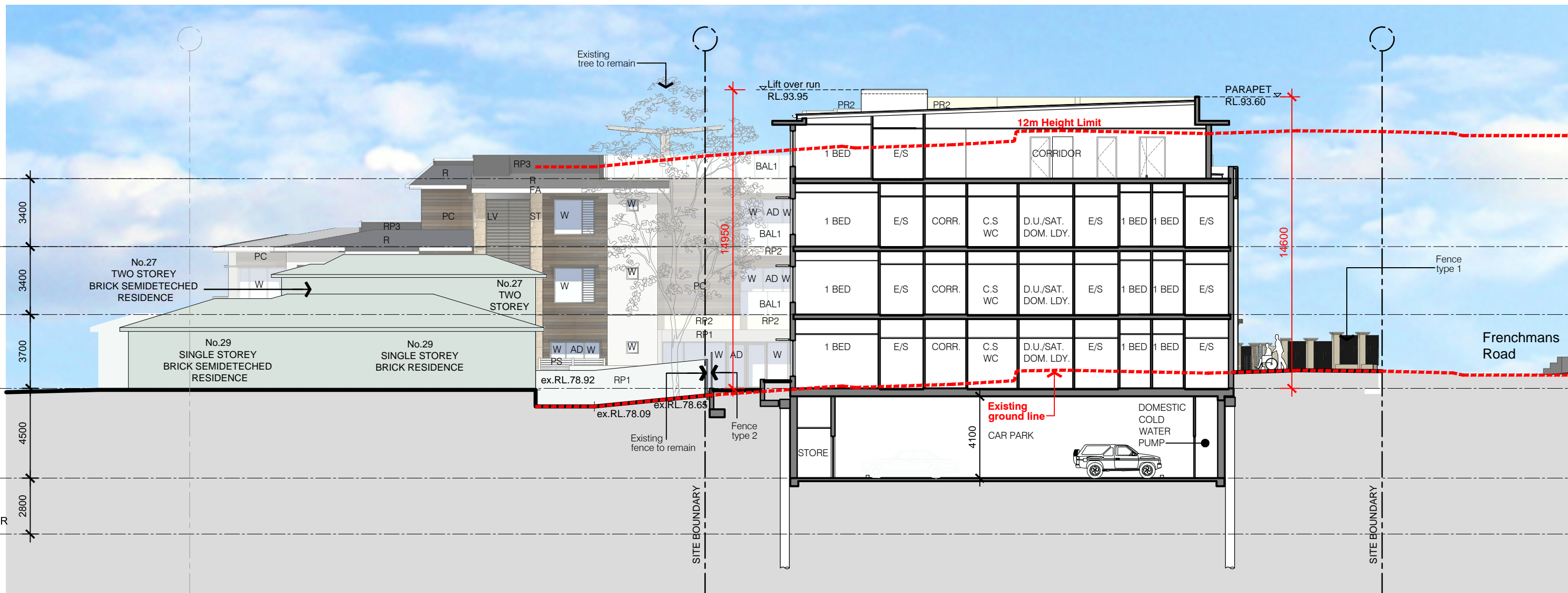
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
CB	COLORBACK GLASS
EGL	EXISTING GROUND LINE
FA	FASCIA - COLORBOND SURFMIST OR SIMILAR
FGL	FINISHED GROUND LINE
GLV	GLASS LOUVRE
LV	LOUVRE - POWDER COATED
OW	OPENABLE WINDOW
PC	PREFINISHED CLADDING (TIMBER LOOK)
PS	1800H PRIVACY SCREEN
PT	PAINTED DECORATIVE TIMBER
R	ROOF GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
RP1	RENDERED PAINTED WALL - COLOUR WHITE
RP2	RENDERED PAINTED WALL - COLOUR BEIGE
RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS

#### FENCE TYPES

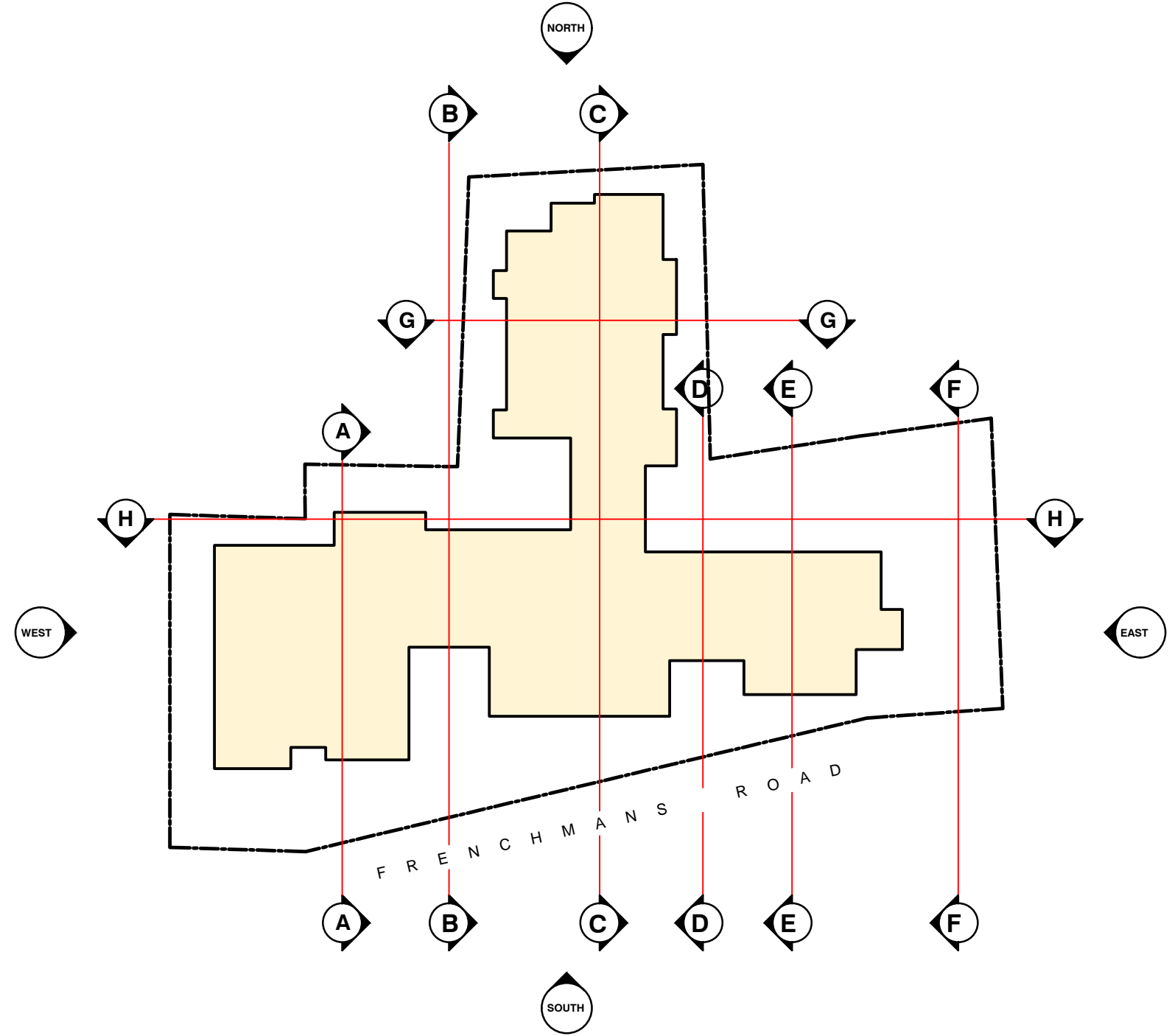
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE

#### NOTE:

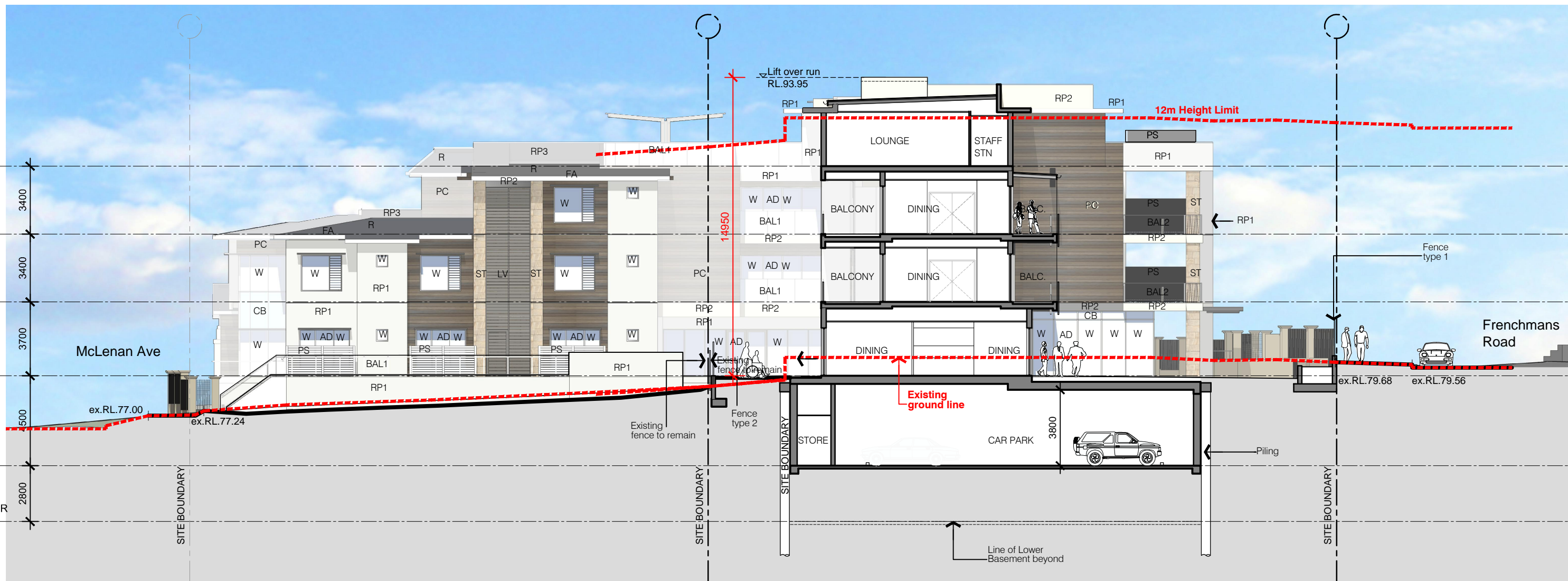
ALL ENSUITE & SITTING ROOMS' WINDOWS TO BE OPENABLE WITH FLYSCREEN



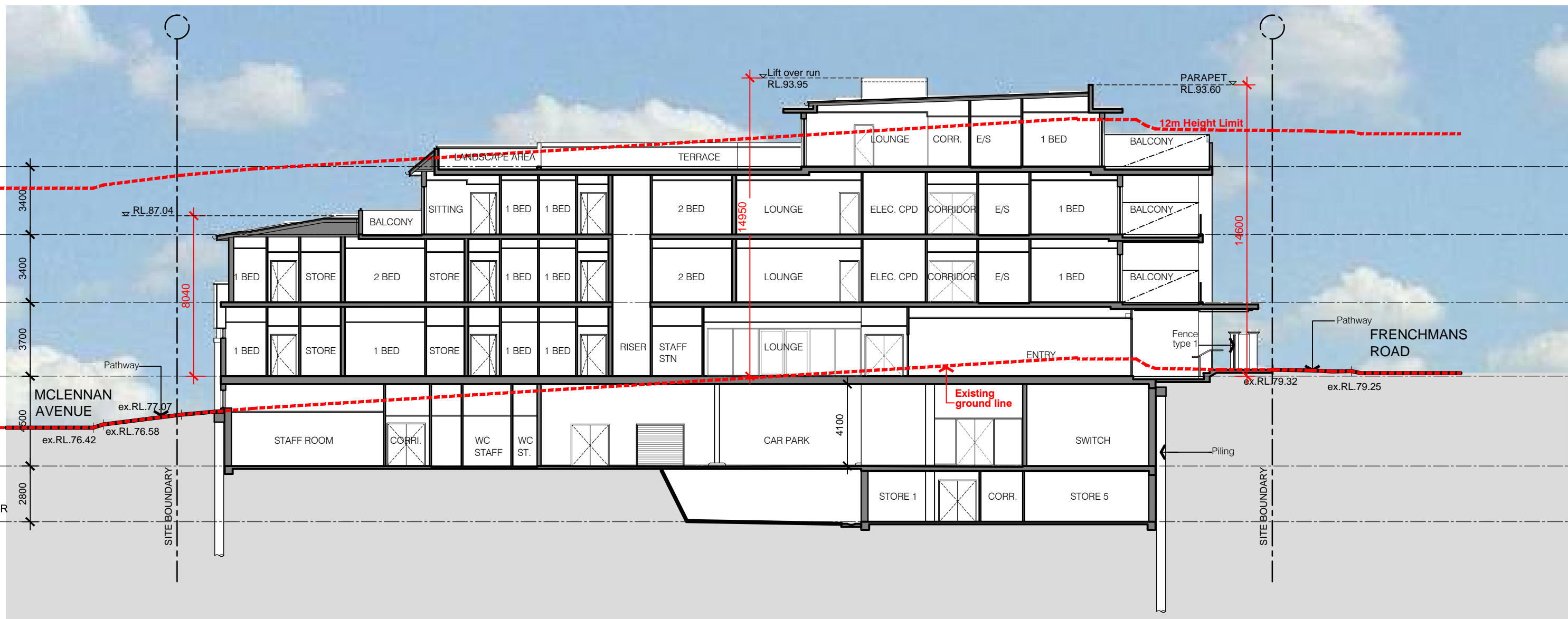
01 Section A  
Scale 1:200



KEY PLAN



02 Section B  
Scale 1:200



03 Section C  
Scale 1:200

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing  
SECTIONS (A, B & C)



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architecture, health and aged care planning, project management

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Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	WW/SS		1912/ DA10
Amendment	B		





#### LEGEND

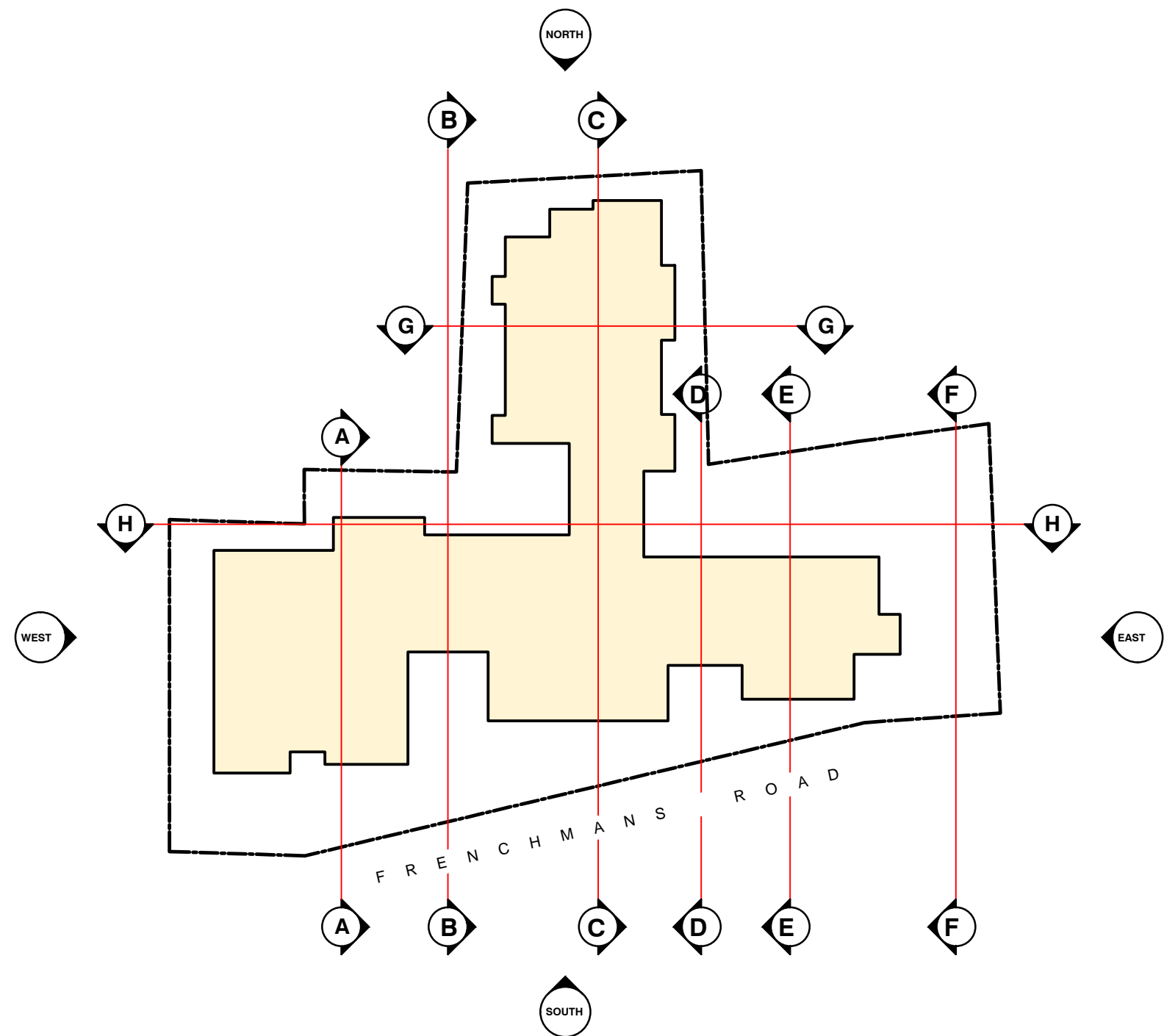
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
CB	COLORBACK GLASS
EGL	EXISTING GROUND LINE
FA	FASCIA - COLORBOND SURFMIST OR SIMILAR
FGL	FINISHED GROUND LINE
GLV	GLASS LOUVRE
LV	LOUVRE - POWDER COATED
OW	OPENABLE WINDOW
PC	PREFINISHED CLADDING (TIMBER LOOK)
PS	1800H PRIVACY SCREEN
PT	PAINTED DECORATIVE TIMBER
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RS	ROLLER SHUTTER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS

#### FENCE TYPES

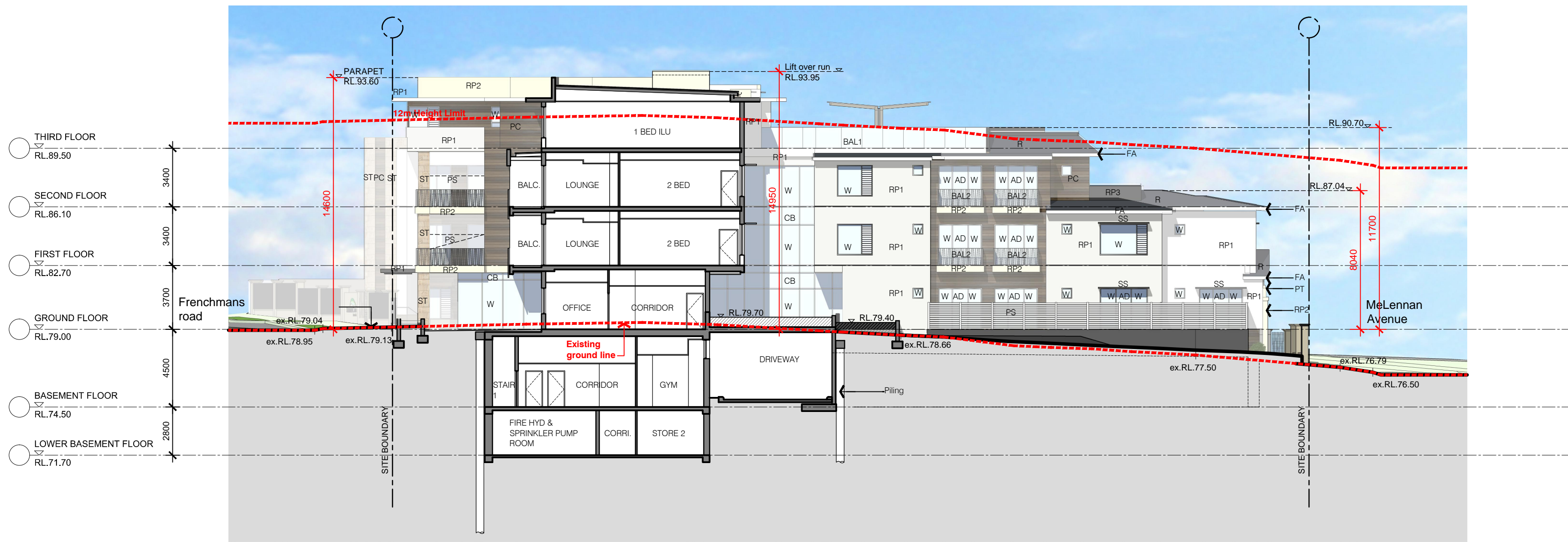
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE

#### NOTE:

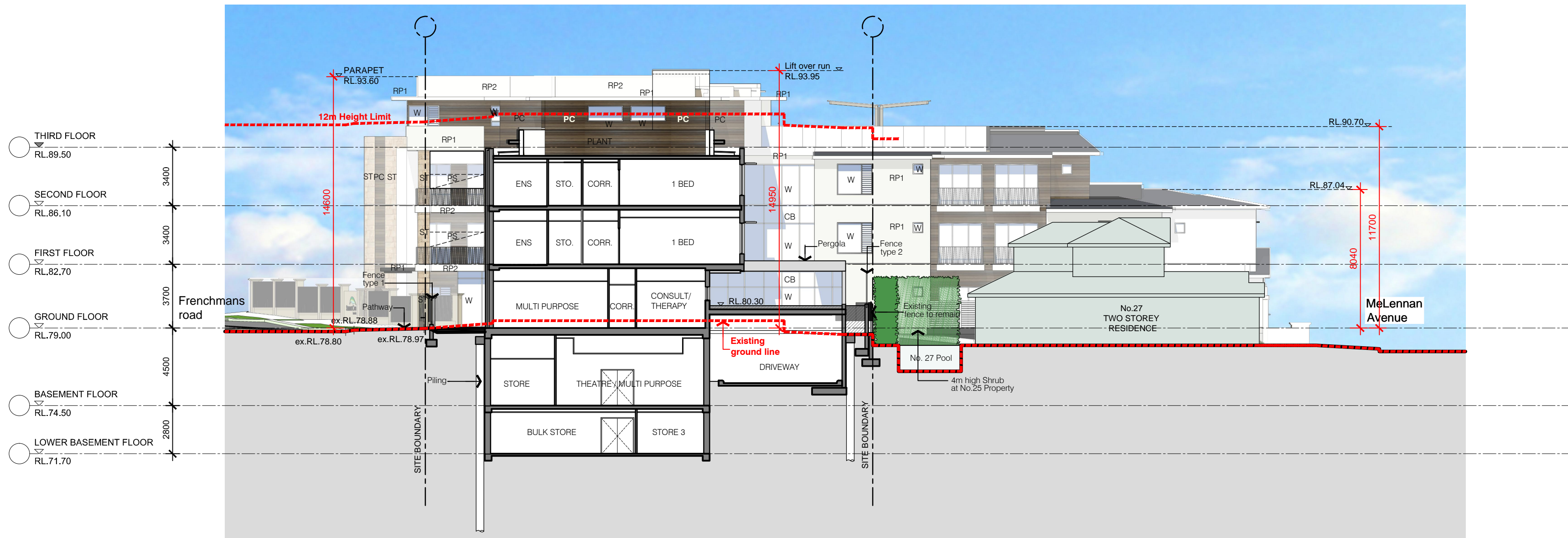
ALL ENSUITE & SITTING ROOMS' WINDOWS TO BE OPENABLE WITH FLYSCREEN



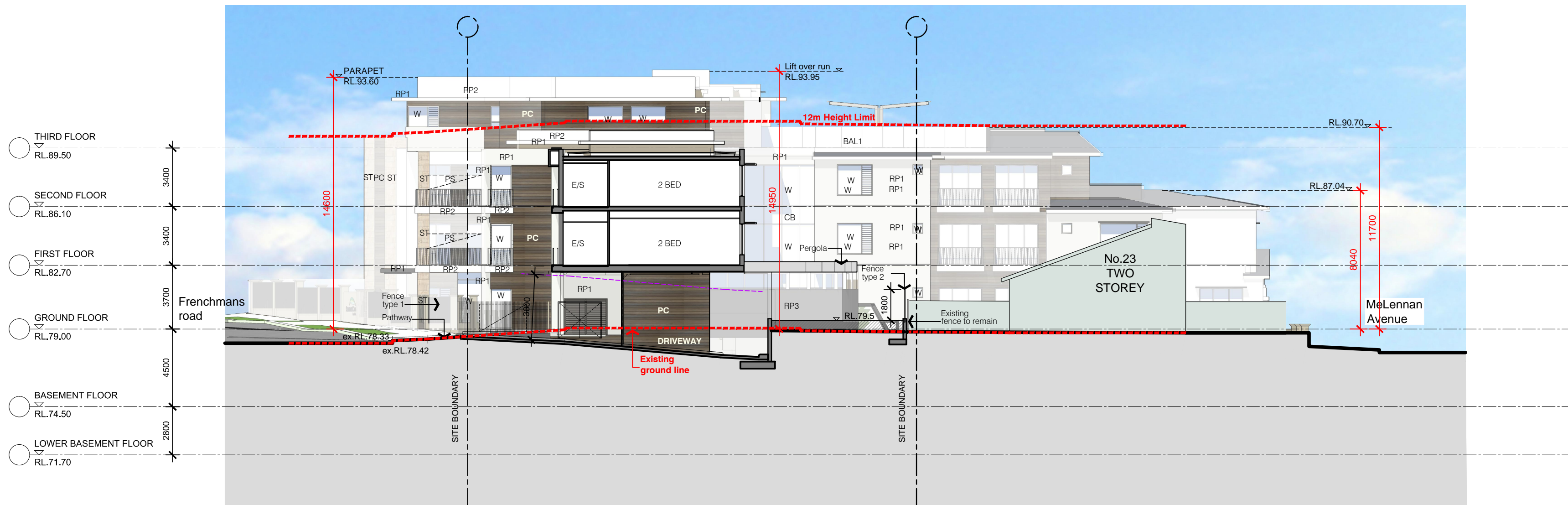
#### KEY PLAN



04 Section D  
Scale 1:200



05 Section E  
Scale 1:200



06 Section F  
Scale 1:200

0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
SECTIONS (D, E, & F)



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Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	WW		
Amendment	B		

1912/ DA11



#### LEGEND

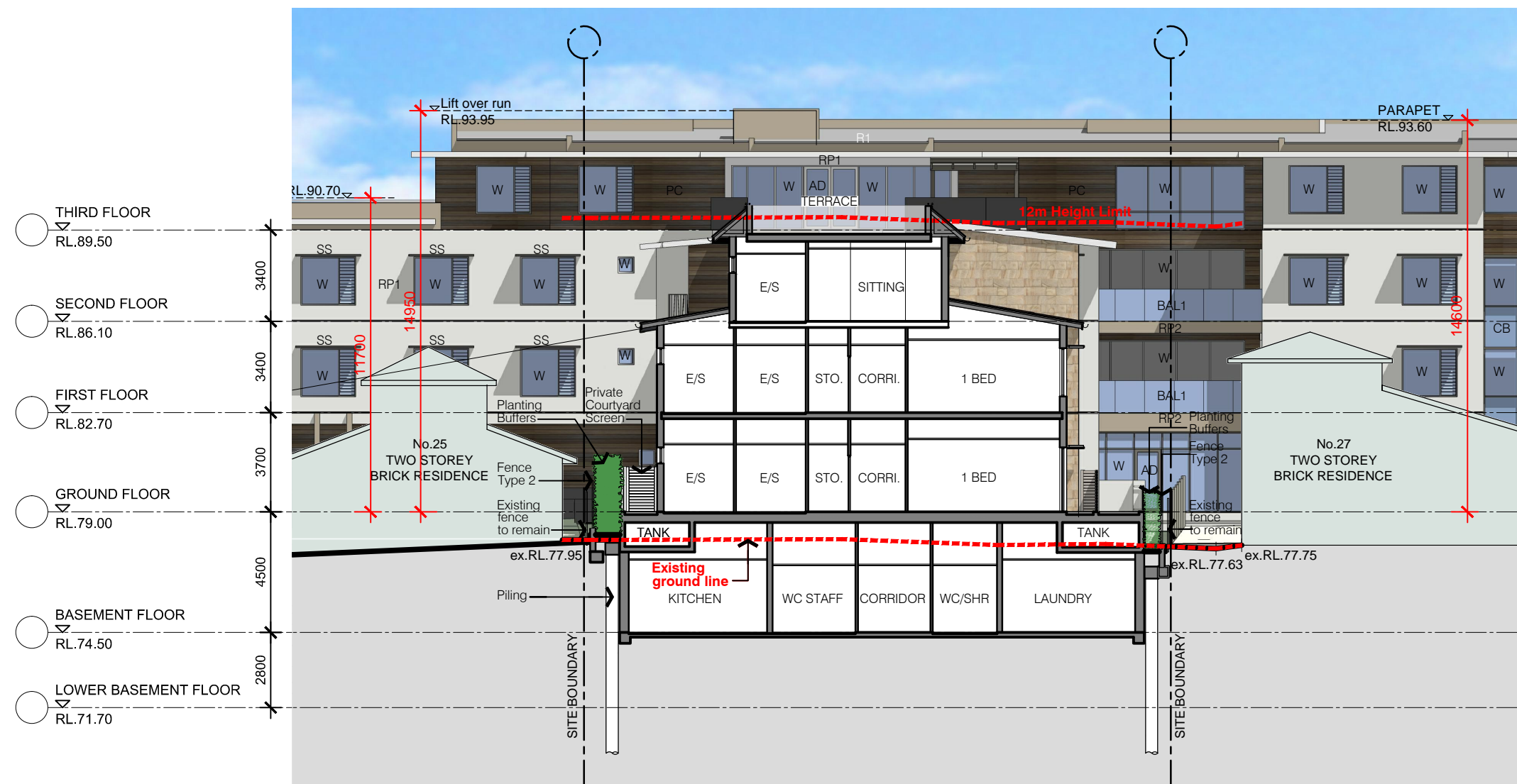
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
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CB	COLORBACK GLASS
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LV	LOUVRE - POWDER COATED
OW	OPENABLE WINDOW
PC	PREFINISHED CLADDING (TIMBER LOOK)
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ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS

#### FENCE TYPES

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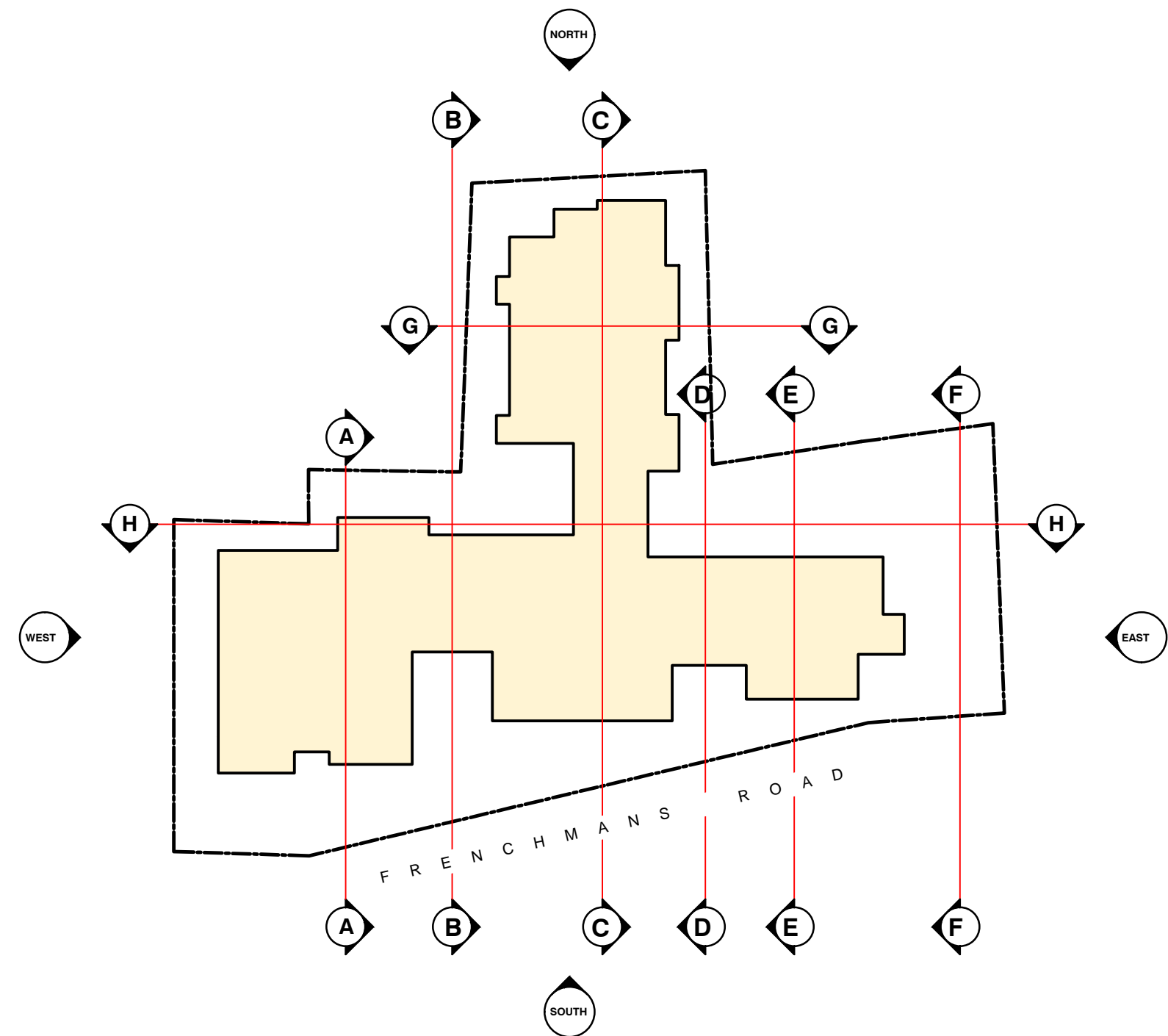
ALL ENSUITE & SITTING ROOMS' WINDOWS TO BE OPENABLE WITH FLYSCREEN



07 Section G  
Scale 1:200



08 Section H  
Scale 1:200



KEY PLAN

0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing  
SECTIONS (G & H)



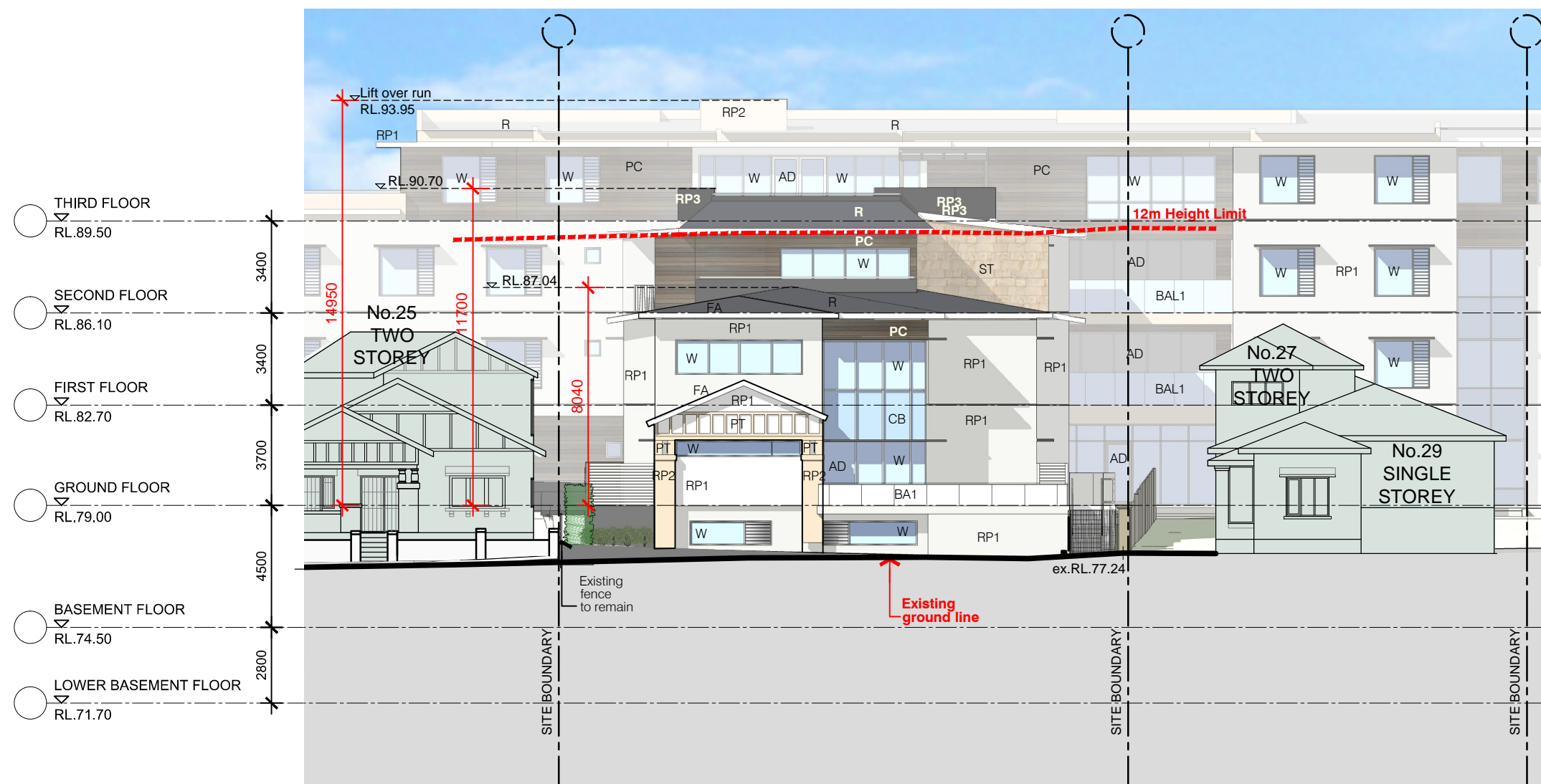
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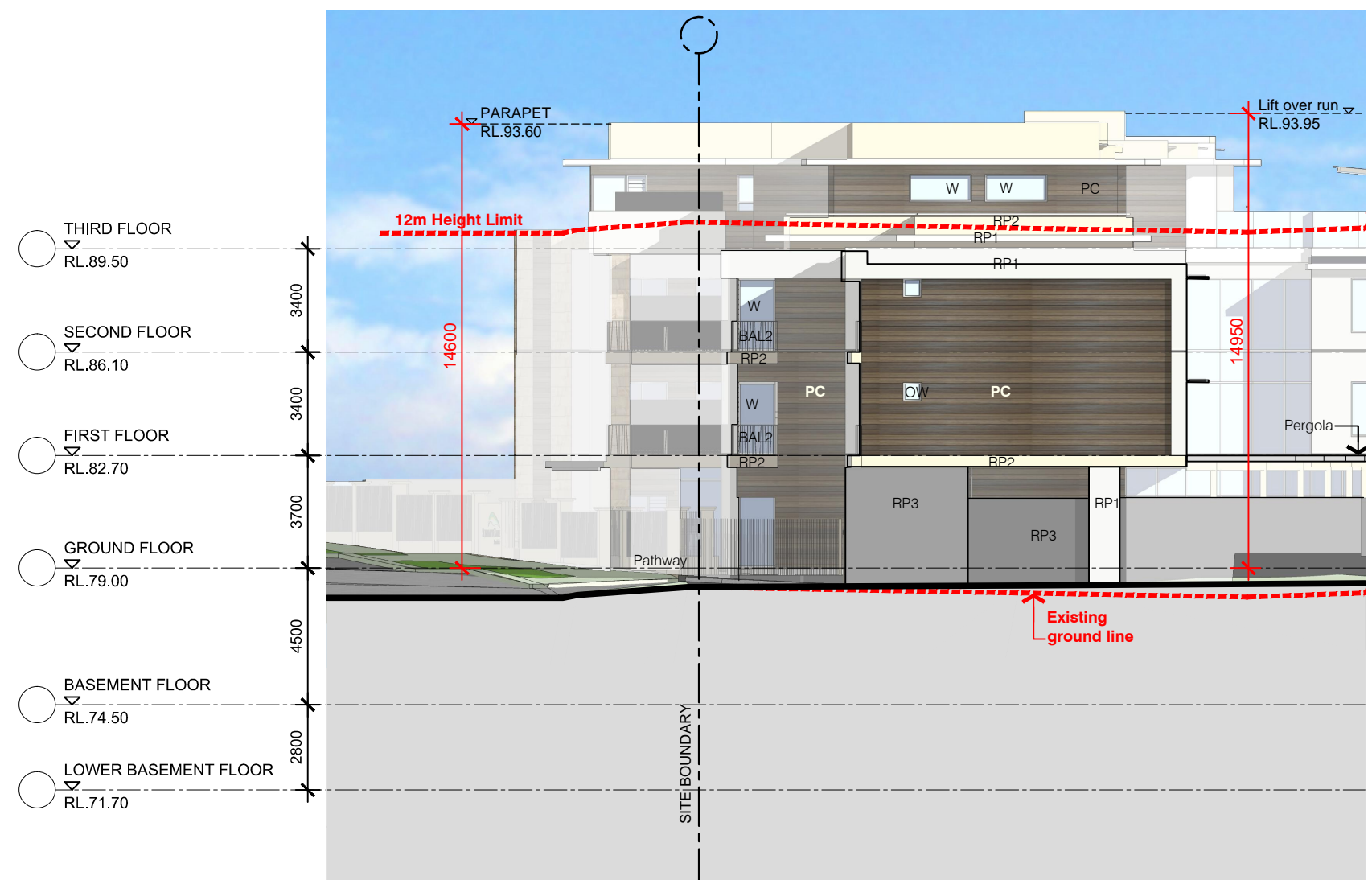
Date	NOV 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	WW		
Amendment	B		

1912/ DA12

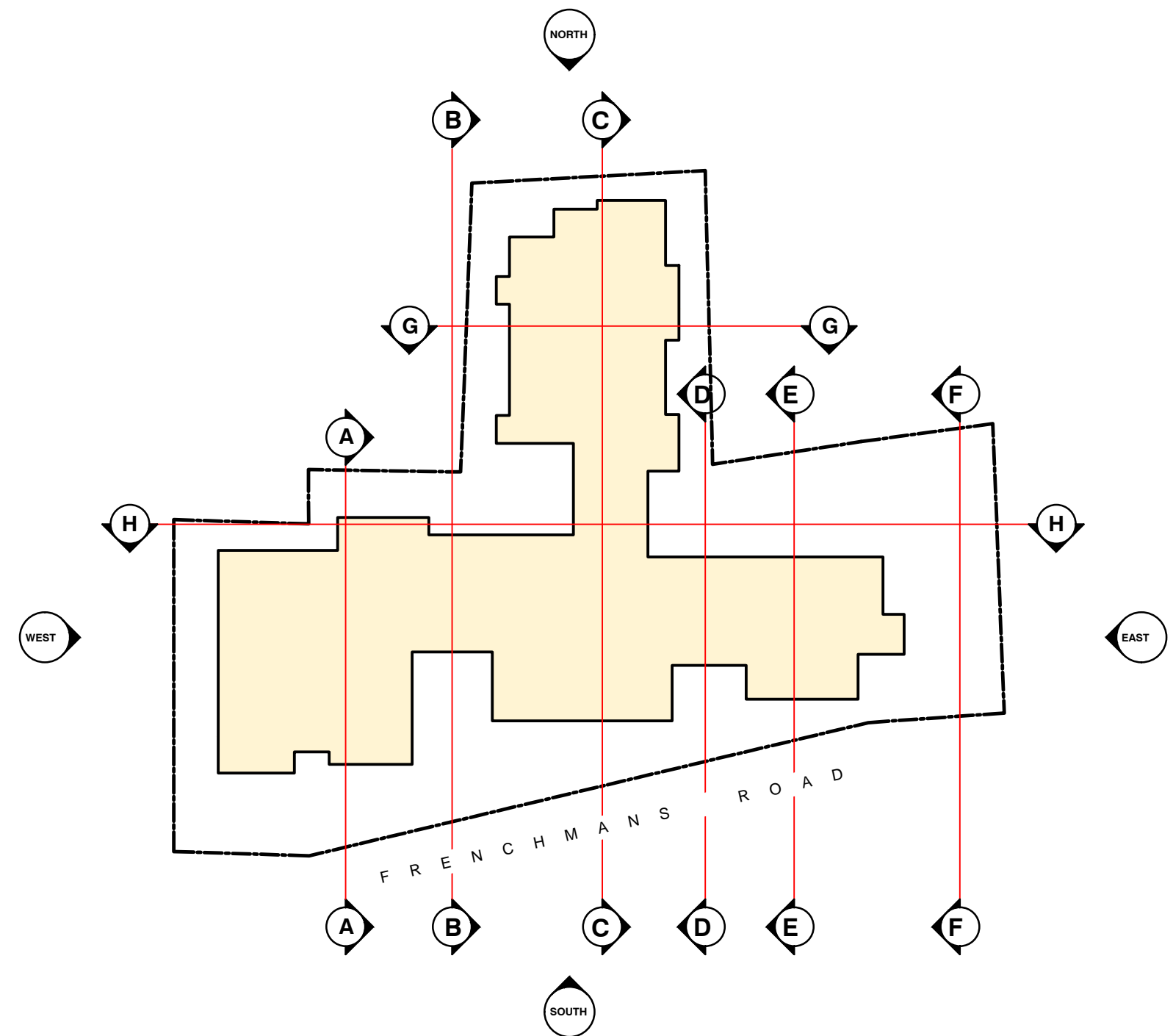




11 NORTH ELEVATION  
Scale 1:200



12 EAST ELEVATION  
Scale 1:200

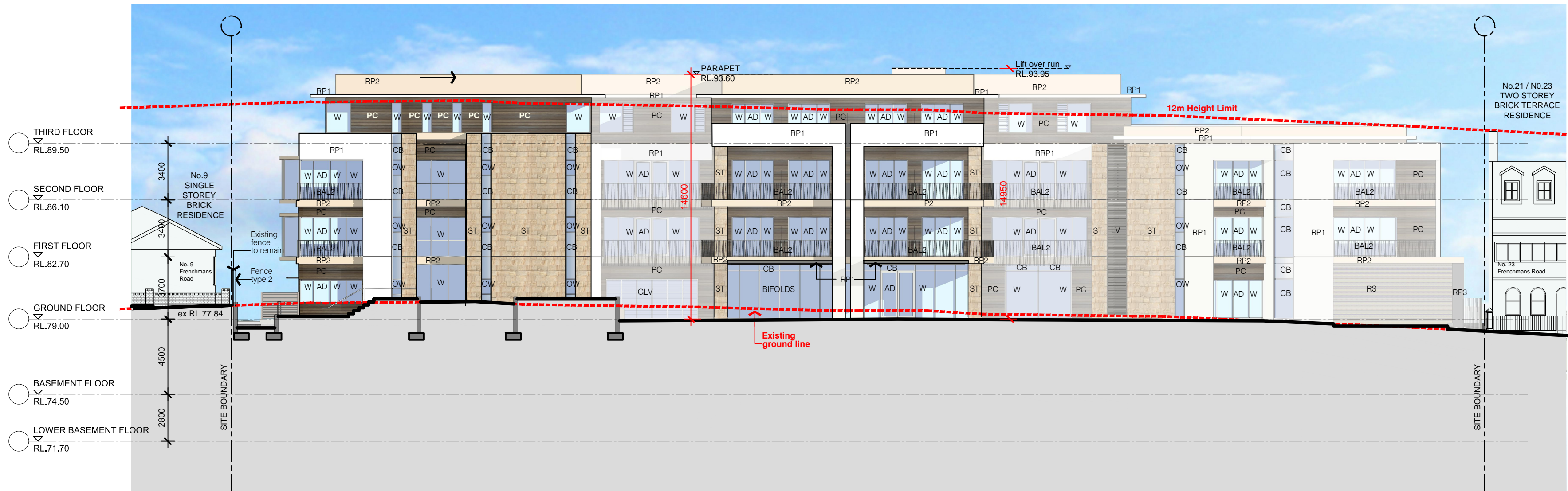


KEY PLAN

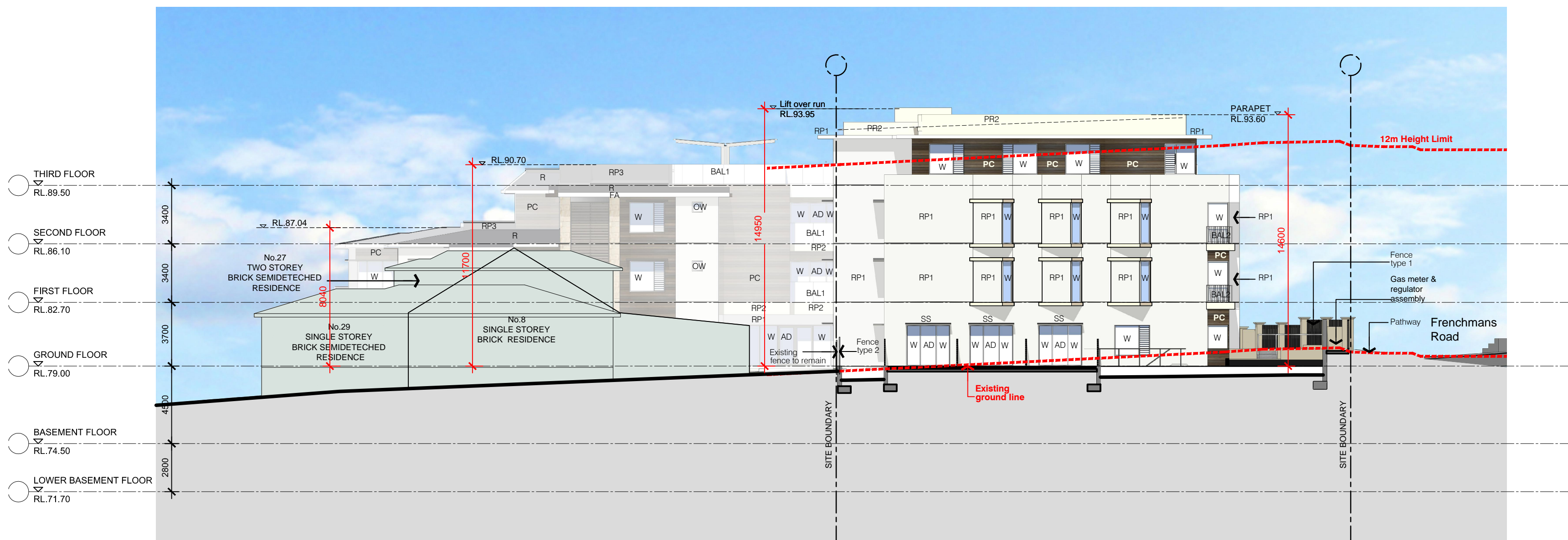
LEGEND	
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
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**NOTE:**  
ALL ENSUITE & SITTING ROOMS' WINDOWS TO BE OPENABLE WITH FLYSCREEN



13 SOUTH ELEVATION  
Scale 1:200



14 WESTELEVATION  
Scale 1:200



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
**FRENCHMANS LODGE**  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
ELEVATIONS (North, East, South & West)

Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	WW		
Amendment	B		

1912/ DA13



#### LEGEND

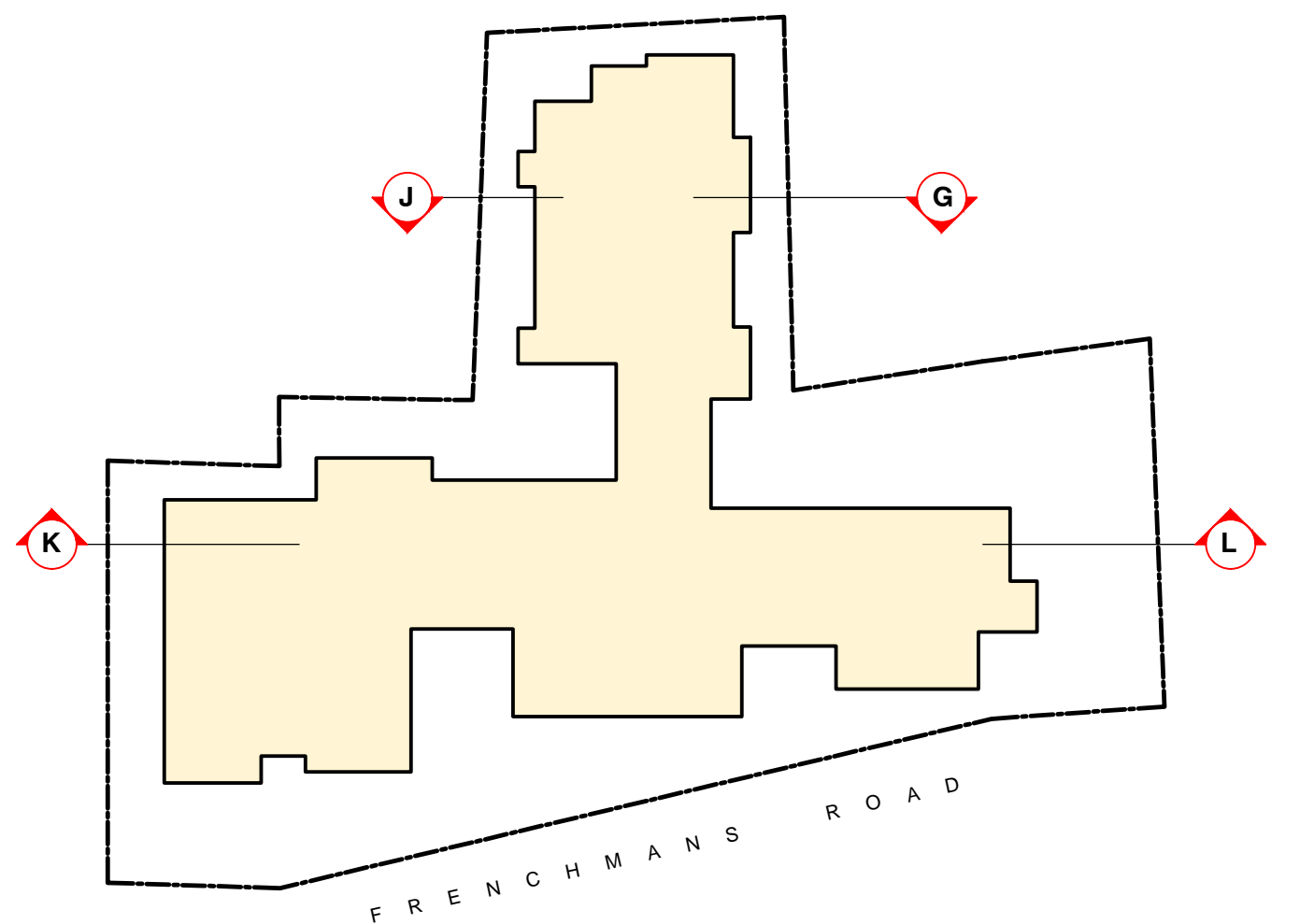
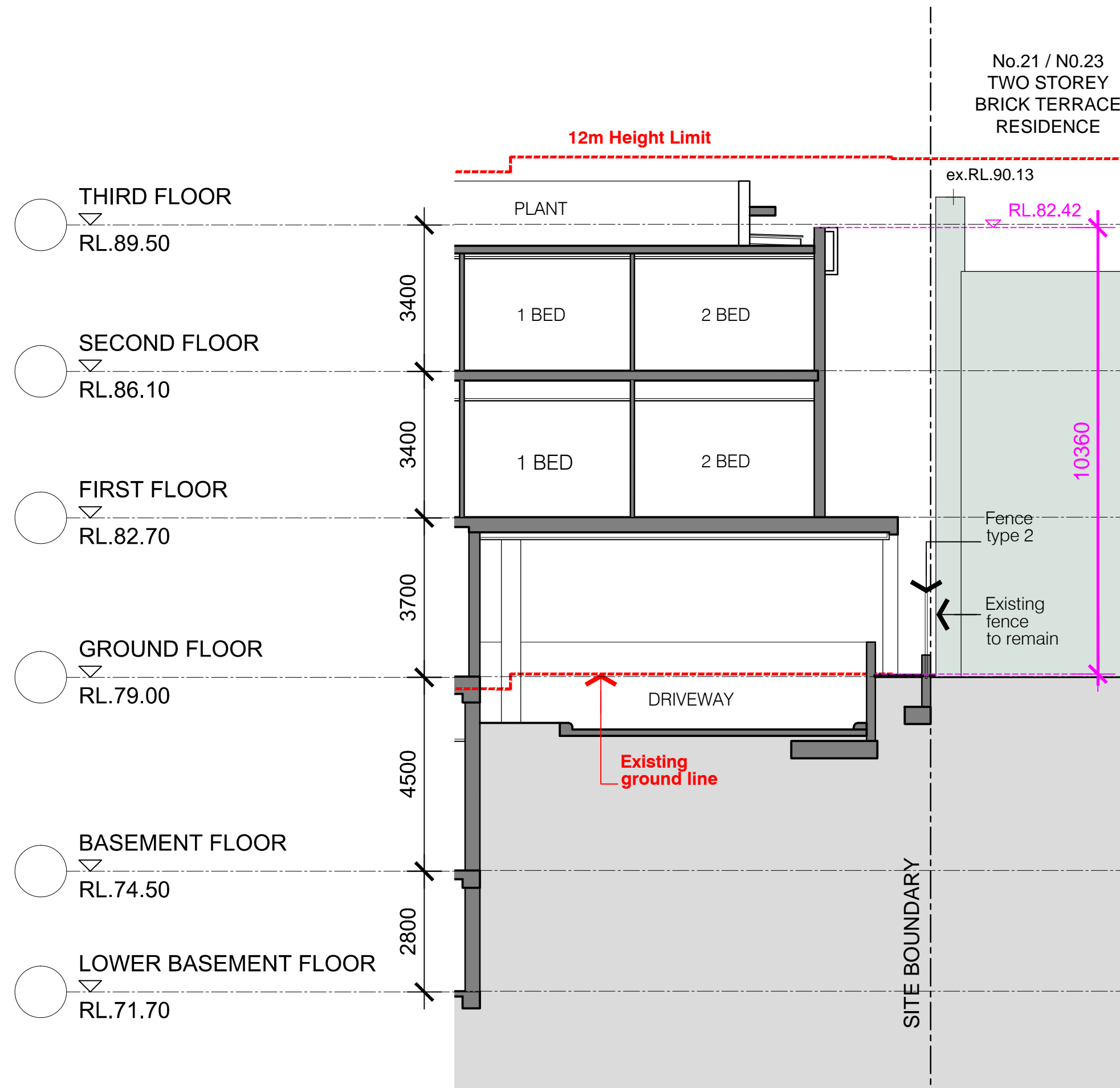
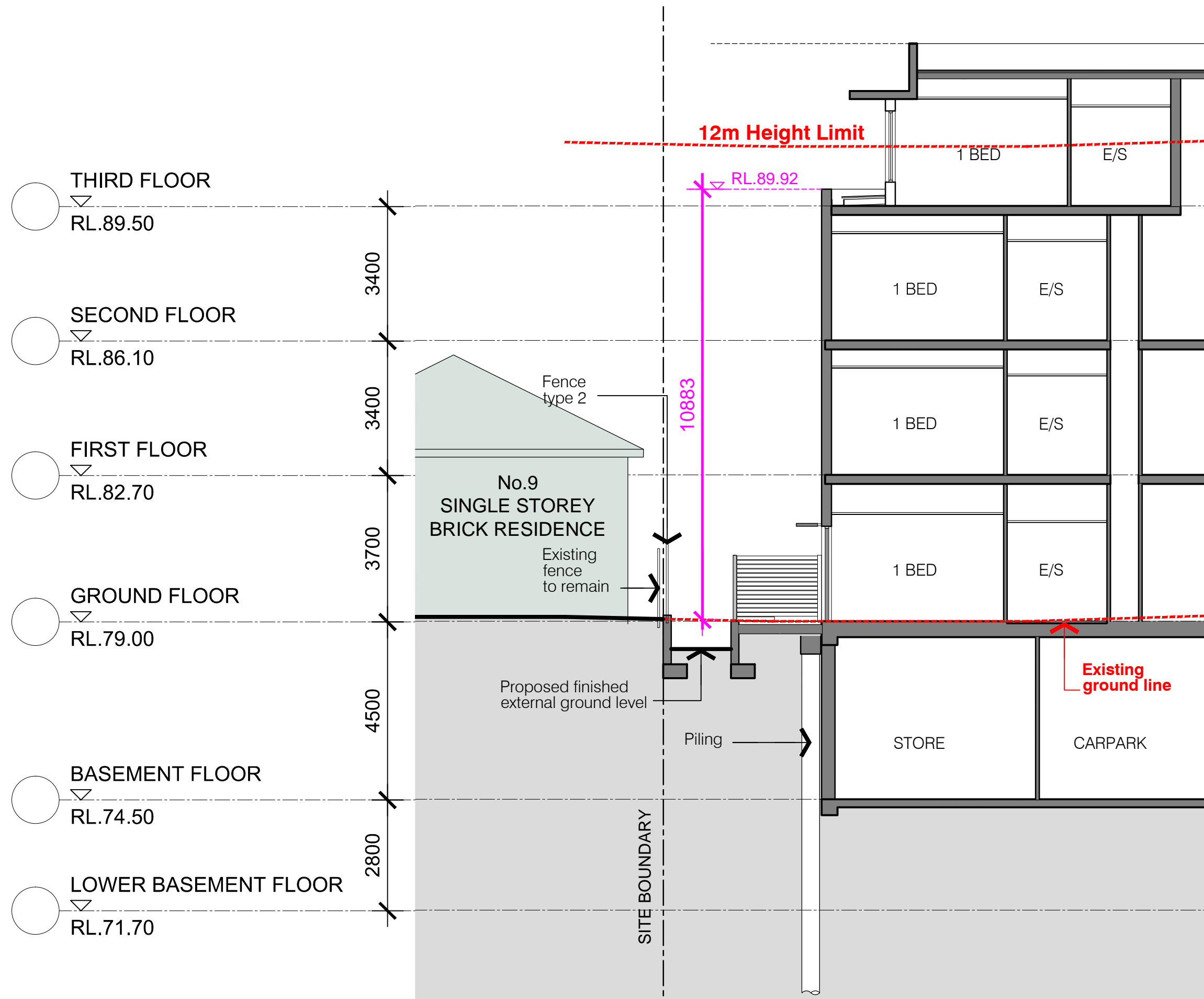
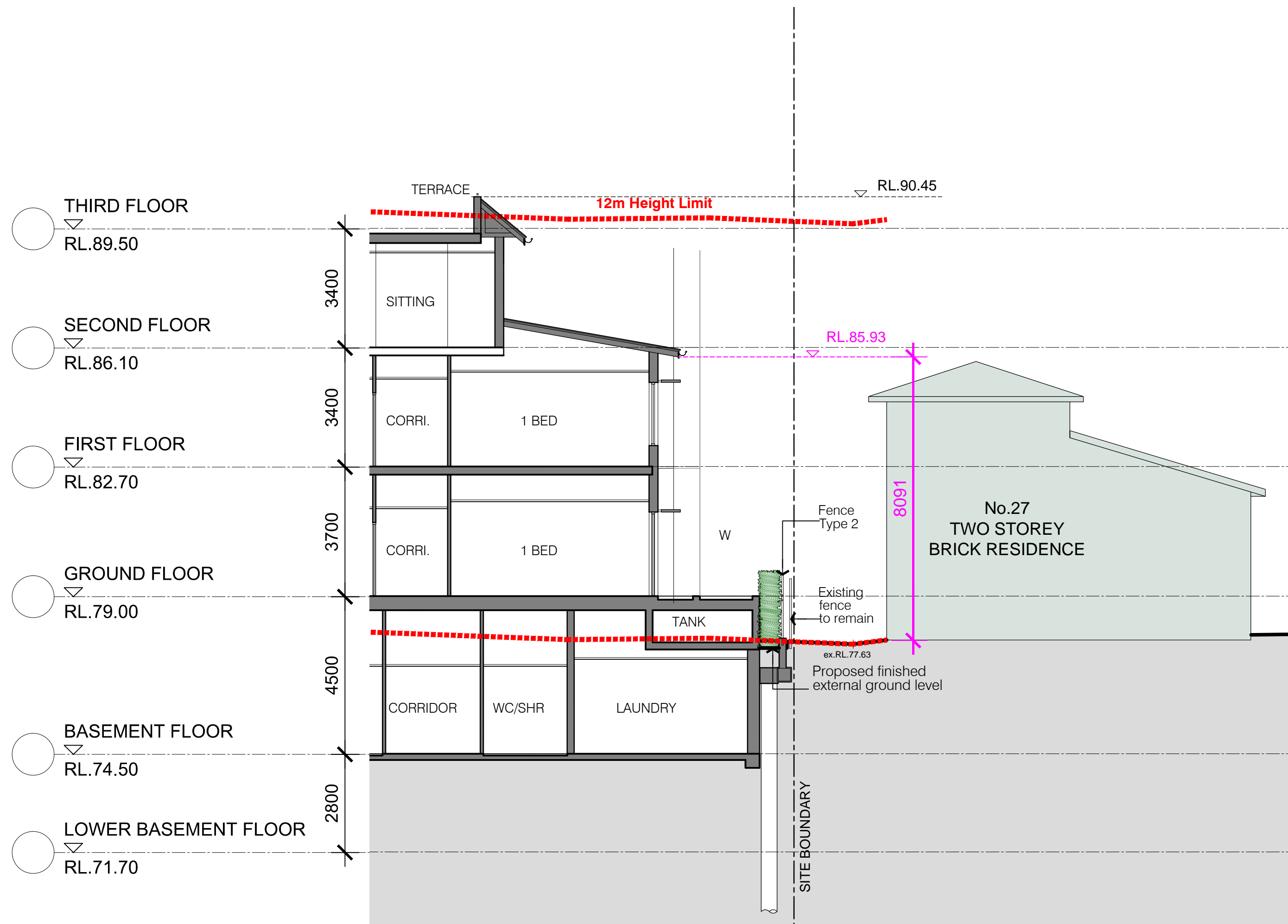
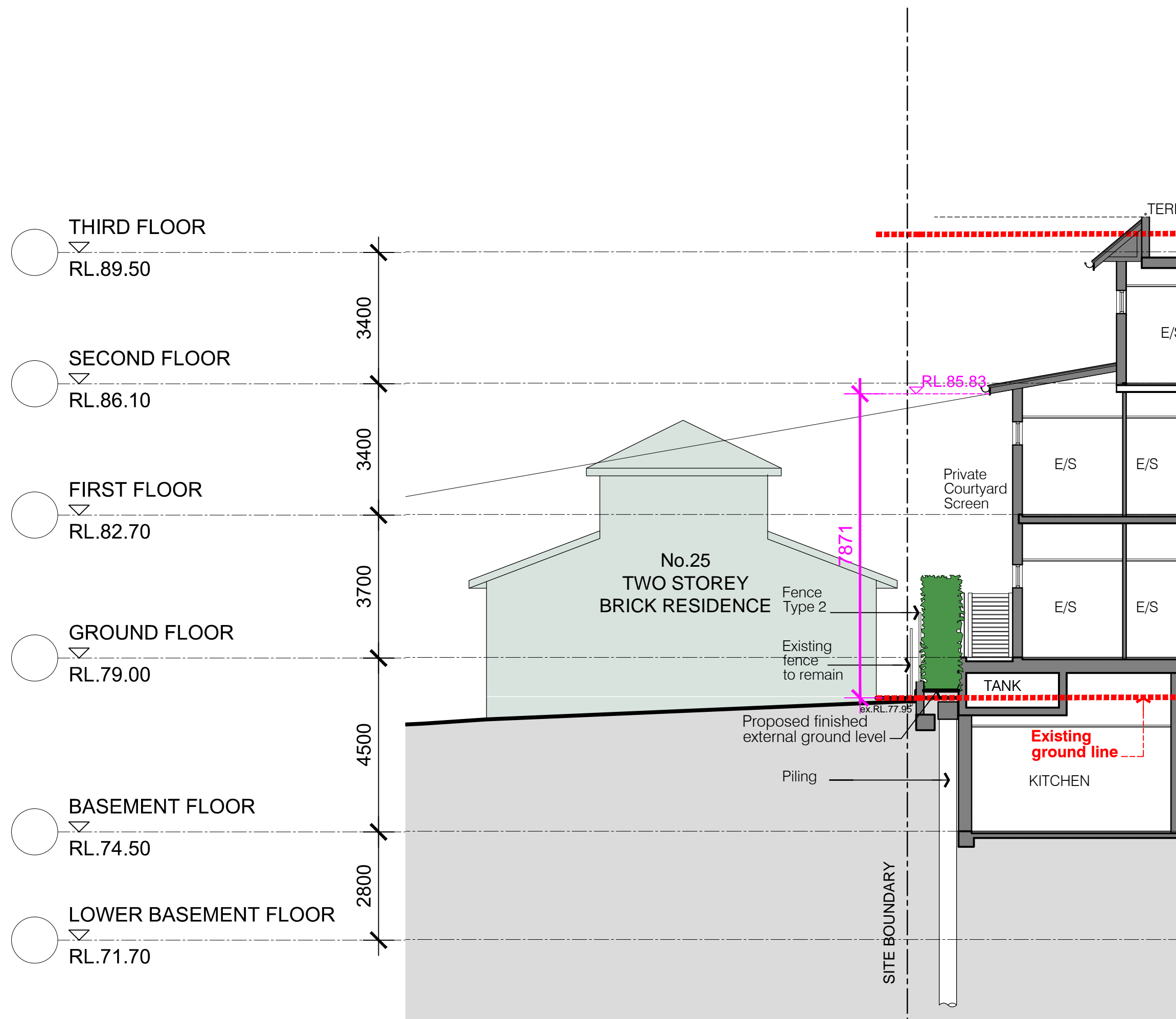
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
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RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS

#### FENCE TYPES

F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE

#### NOTE:

ALL ENSUITE & SITTING ROOMS' WINDOWS TO BE OPENABLE WITH FLYSCREEN



#### KEY PLAN



SCALE : 1: 100 @ A1  
SCALE : 1: 200 @ A3

A	Development Application Issue	01.06.2021
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
SECTIONS & BOUNDARY

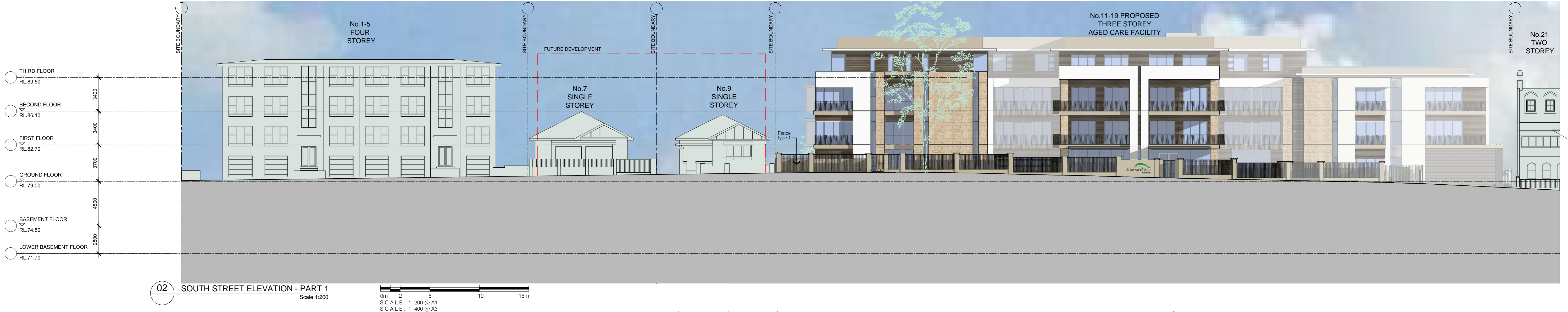
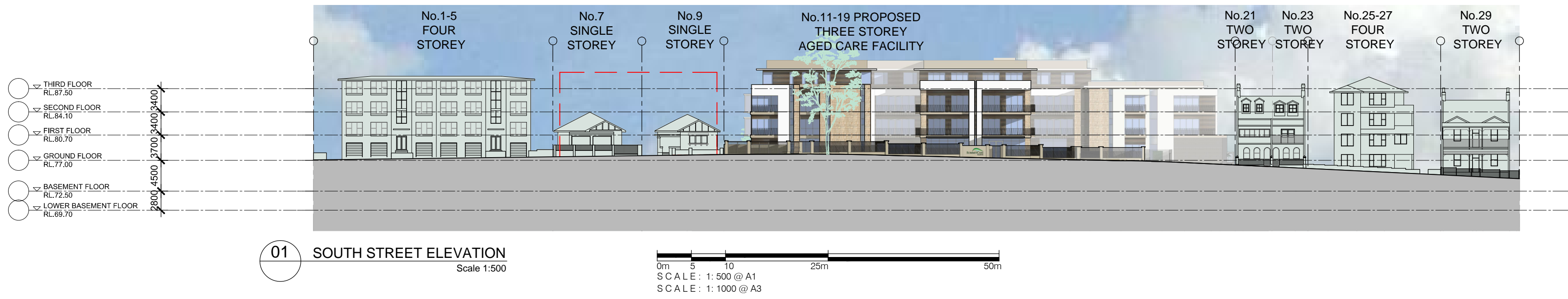


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Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	SS		
Amendment	A		

1912 / DA13a





B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
STREET ELEVATIONS PROPOSED

Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	AL	1912/	DA14
Amendment	B		





01 Frenchmans Road Street Elevation  
Proposed



02 Frenchmans Road Street Elevation  
Existing



03 Opposite side of Frenchmans Road Street Elevation  
Existing

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
STREET ELEVATION @  
FRENCHMANS ROAD-PHOTOMONTAGE

Date	JULY 2019	Job No.	Drawing
Scale	NTS @ A1	2017 /	DA15
Drawn	VI		
Amendment	B		





01 McLennan Avenue Street Elevation  
Proposed



02 McLennan Avenue Street Elevation  
Existing



03 View from Chapel Street  
Proposed



04 View from Chapel Street  
Existing

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK

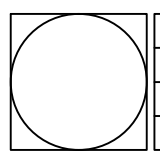
Drawing  
STREET ELEVATION @  
MCLENNAN AVENUE -PHOTOMONTAGE



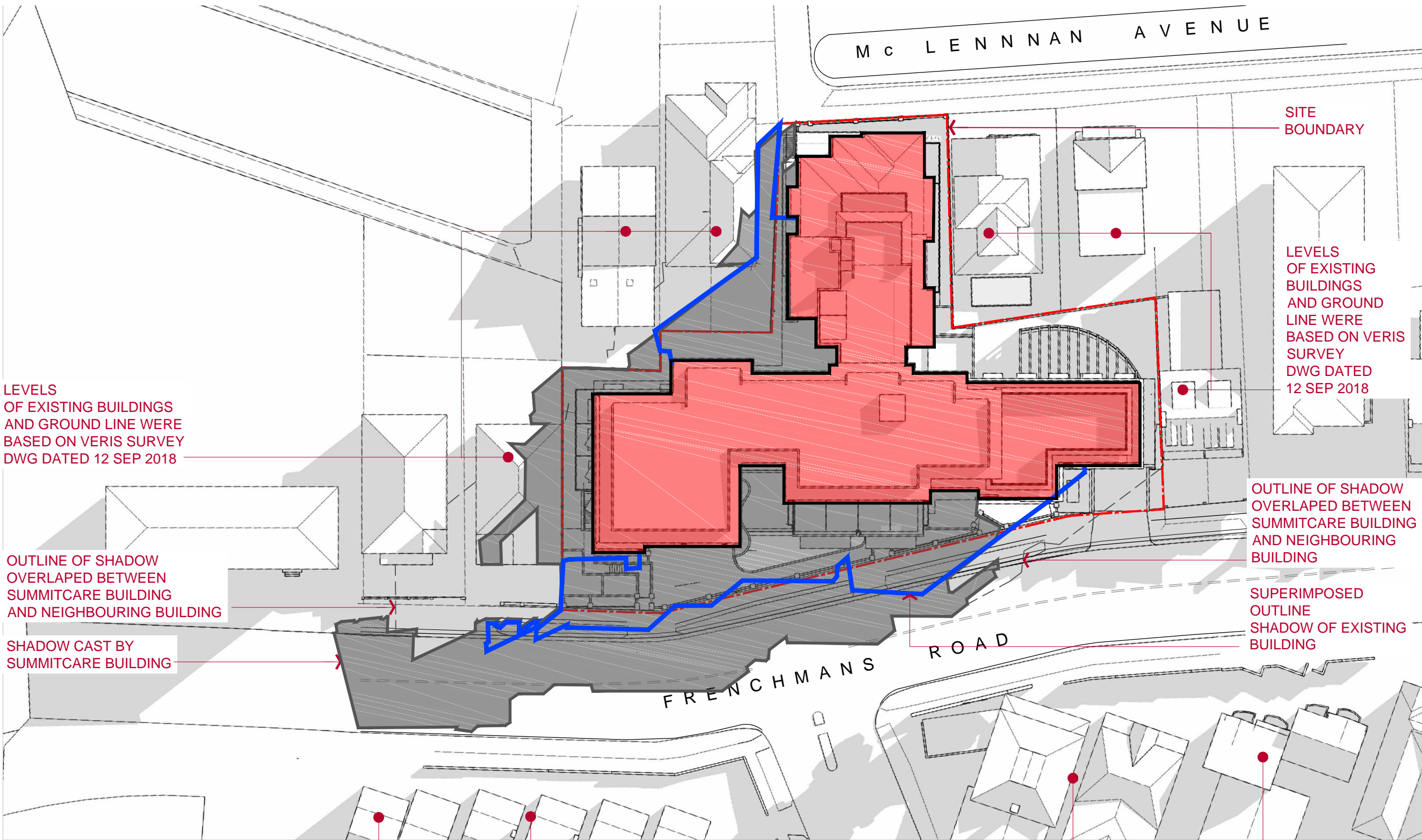
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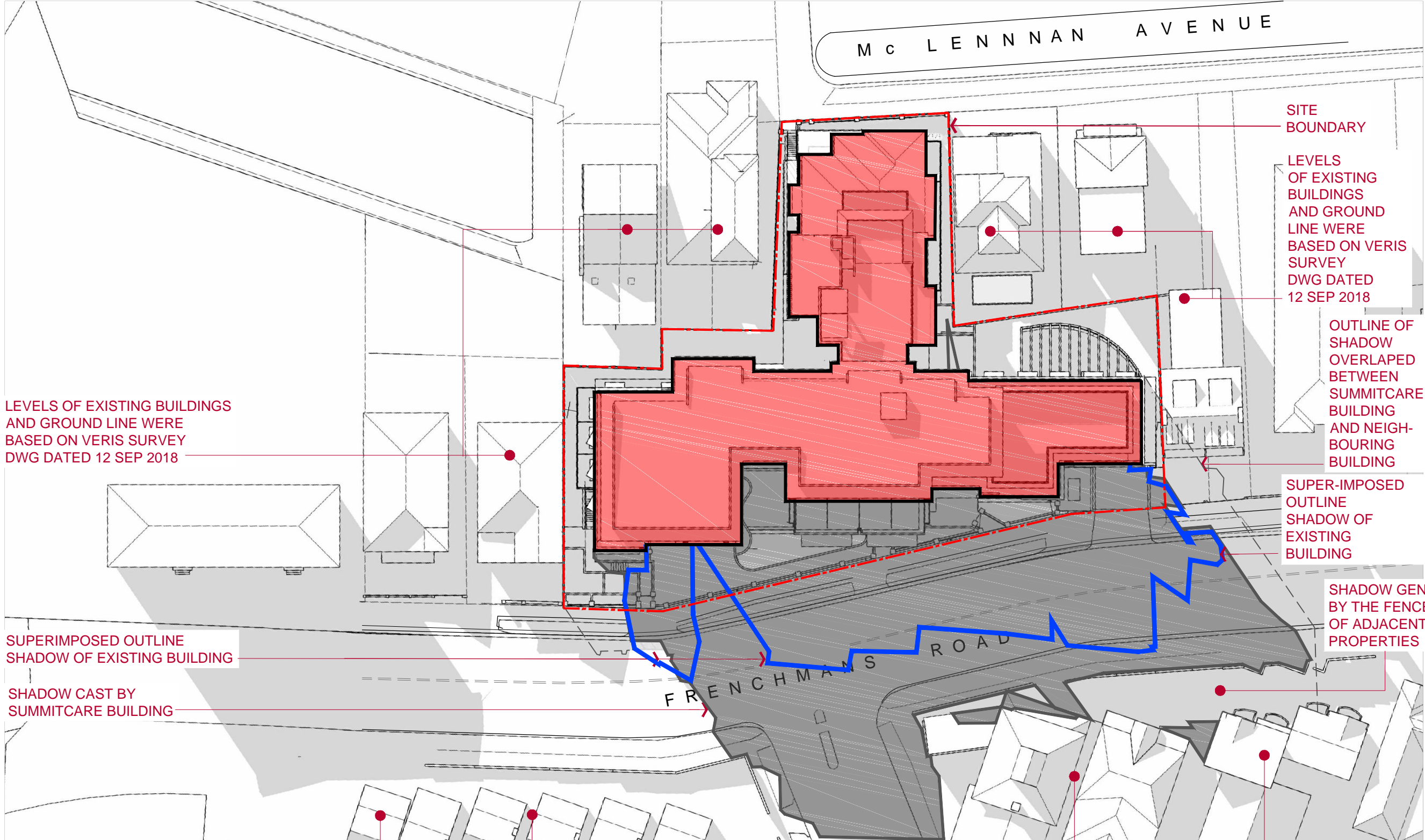
Suite 7, Level 1, Epica, 9 Railway Street  
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AUSTRALIA  
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Fax: (02) 9406 7009  
Email: brgroup@brgr.net

	Date	JULY 2019	Job No.	Drawing
	Scale	NTS @ A1		
	Drawn	VI		2017 / DA16
	Amendment	B		





21 JUNE 9AM  
PROPOSED



21 JUNE 3PM  
PROPOSED

LEGEND	
	BUILDING ROOF OUTLINE
	SHADOW CAST BY SUMMITCARE BUILDING
	SHADOW CAST BY NEIGHBOURING BUILDING
	OUTLINE OF SHADOW OVERLAPED BETWEEN SUMMITCARE BUILDING AND NEIGHBOURING BUILDING
	SUPERIMPOSED OUTLINE SHADOW OF EXISTING BUILDING
	SITE BOUNDARY



21 JUNE 9AM  
EXISTING



21 JUNE 3PM  
EXISTING

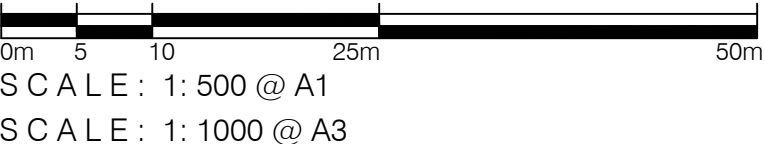
B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	25.05.2021
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
SHADOW DIAGRAMS  
Existing & Proposed- 21June 9am & 3pm

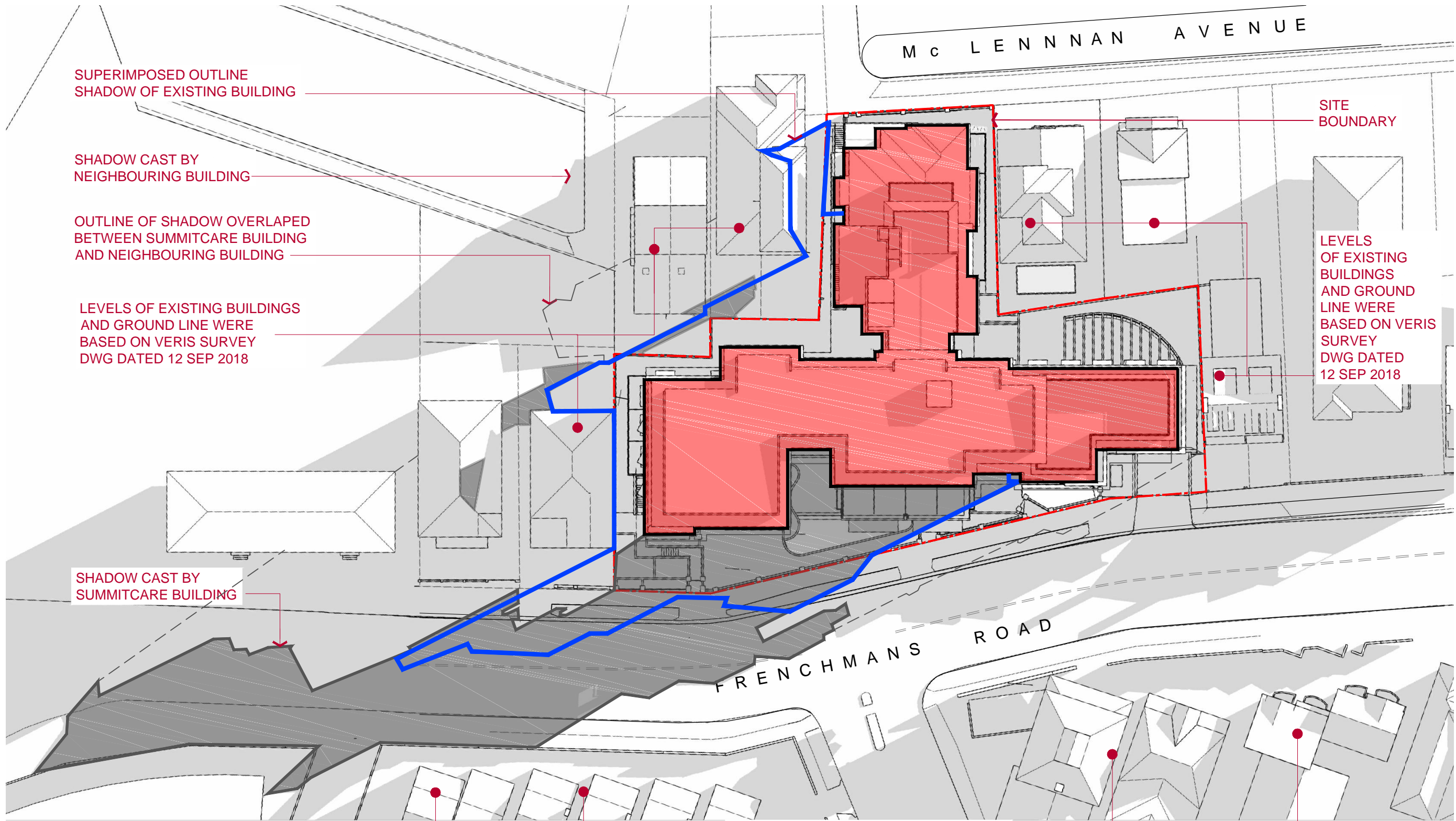
**boffa robertson group**  
architecture, health and aged care planning, project management

Suite 7, Level 1, Epica, 9 Railway Street  
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AUSTRALIA  
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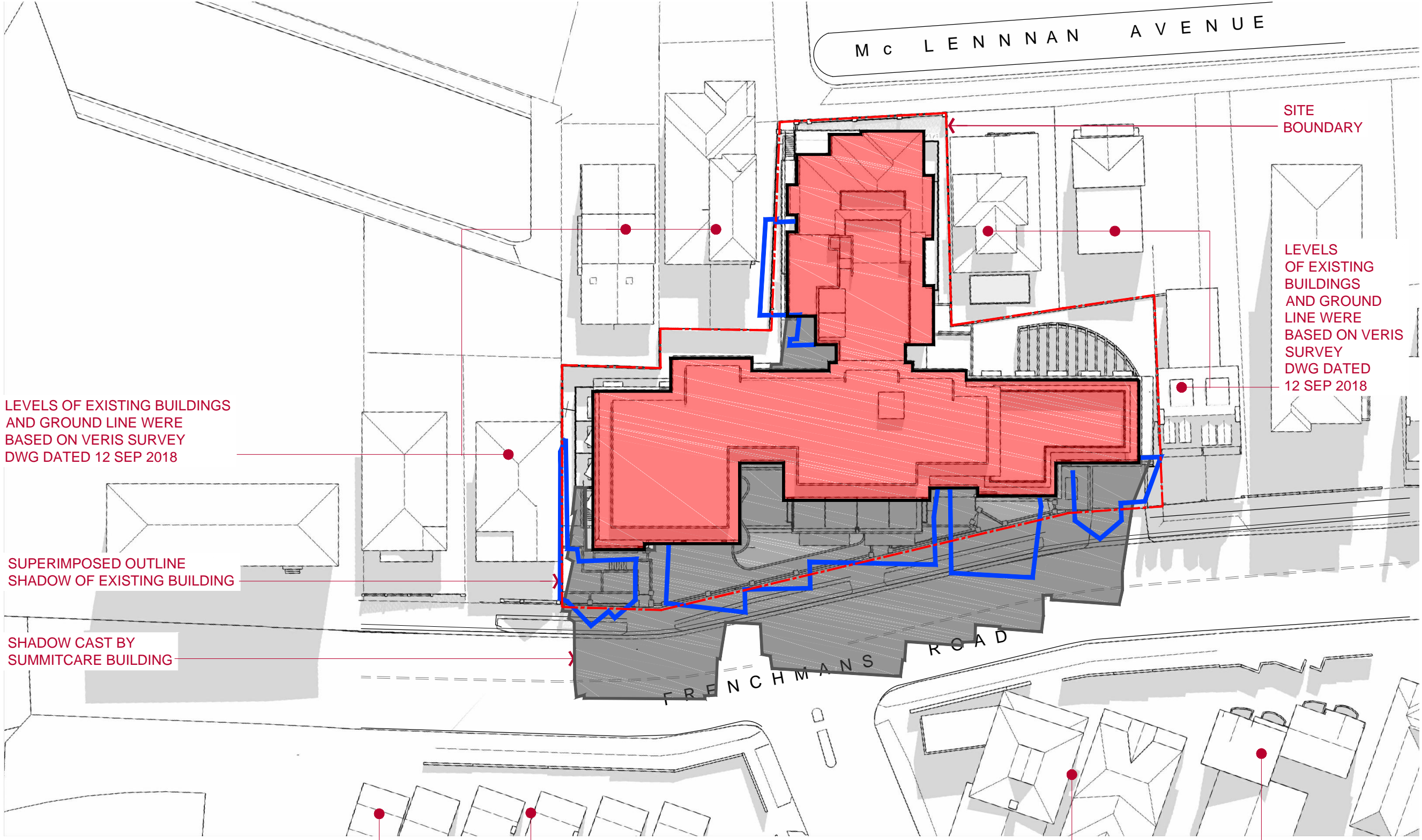
Date	JAN 2019	Job No.	Drawing
Scale	1:500		
Drawn	VI		
Amendment	A		







21 JUNE 8AM  
PROPOSED

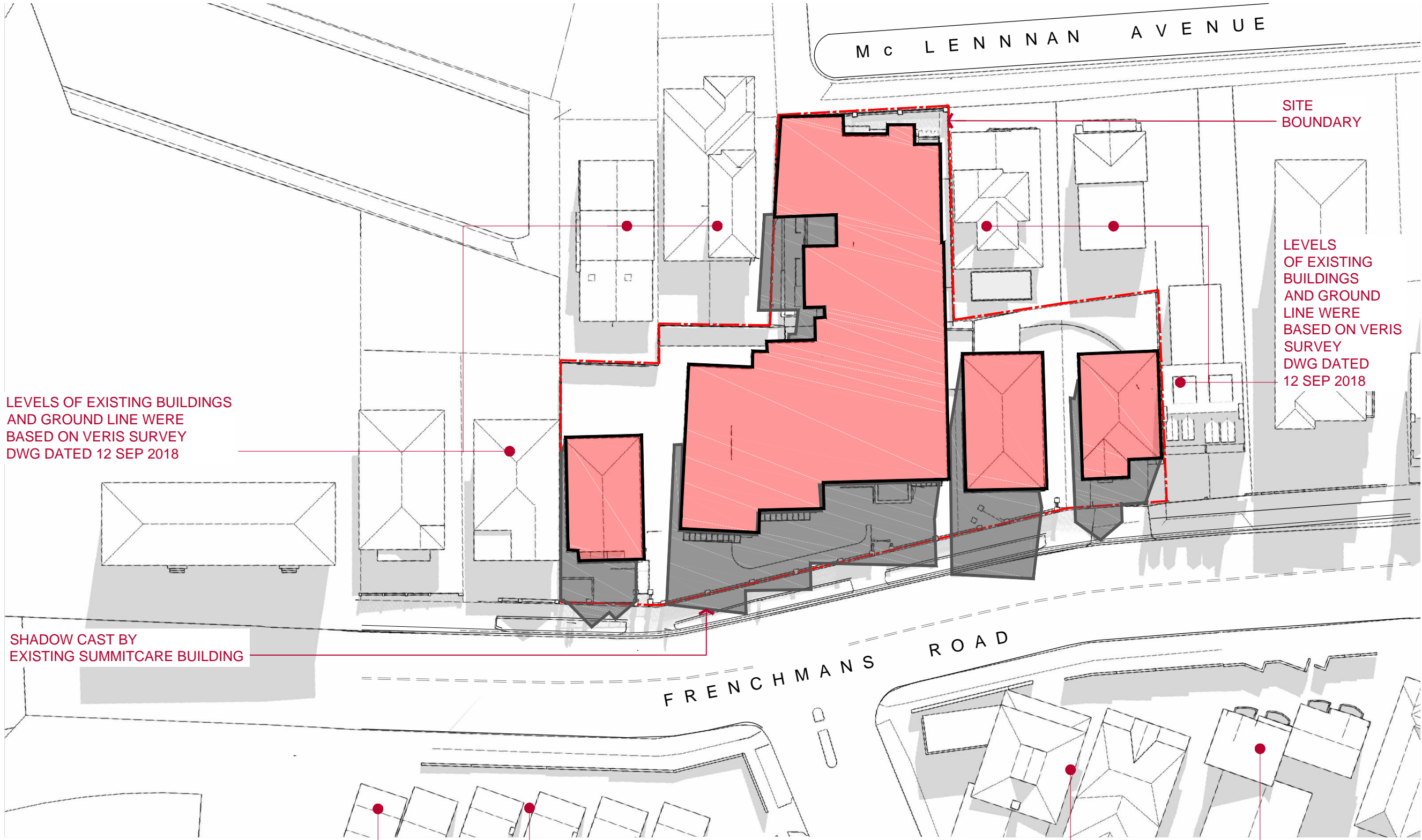


21 JUNE 12PM  
PROPOSED

LEGEND	
	BUILDING ROOF OUTLINE
	SHADOW CAST BY SUMMITCARE BUILDING
	SHADOW CAST BY NEIGHBOURING BUILDING
	OUTLINE OF SHADOW OVERLAPED BETWEEN SUMMITCARE BUILDING AND NEIGHBOURING BUILDING
	SUPERIMPOSED OUTLINE SHADOW OF EXISTING BUILDING
	SITE BOUNDARY



21 JUNE 8AM  
EXISTING



21 JUNE 12PM  
EXISTING

0m 5 10 25m 50m  
SCALE: 1: 500 @ A1  
SCALE: 1: 1000 @ A3

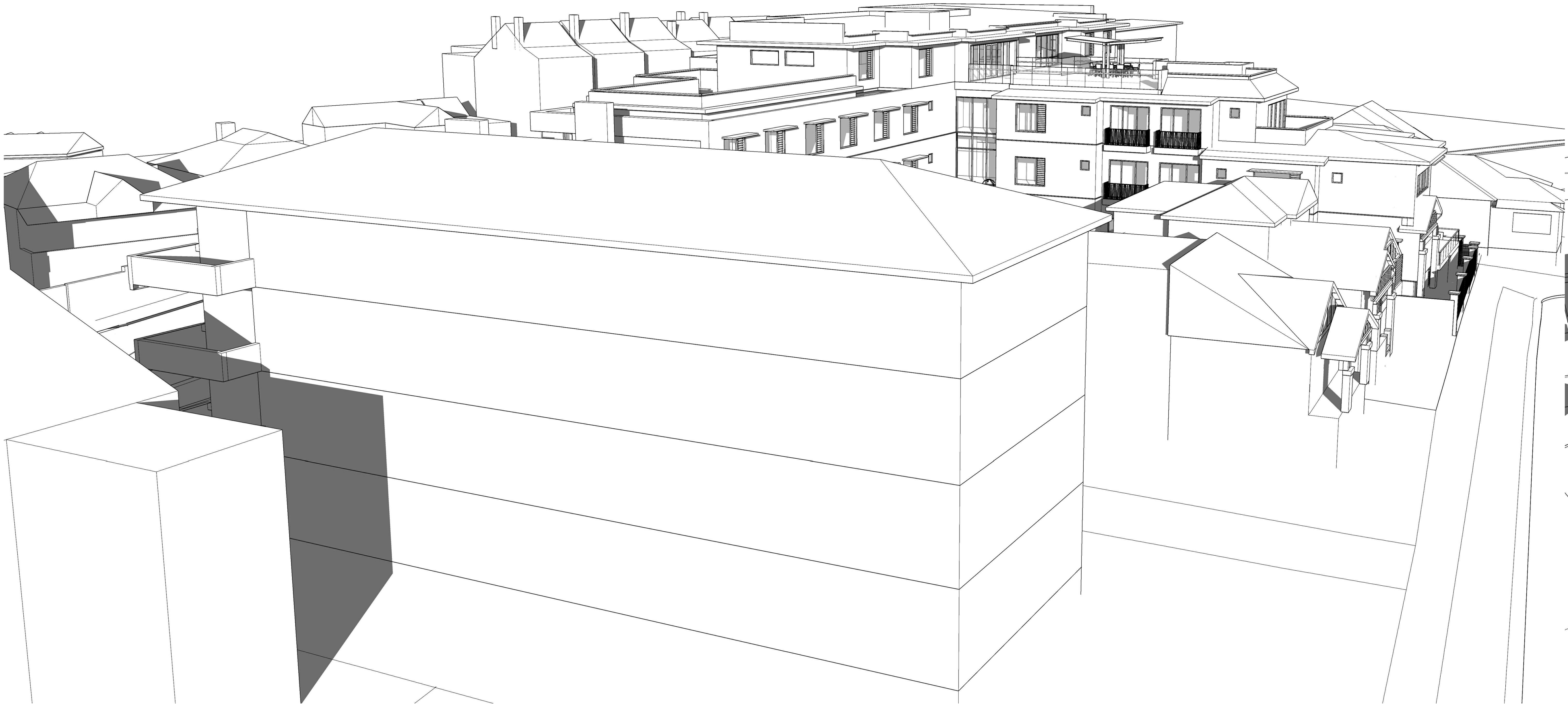
B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	25.05.2021
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
SHADOW DIAGRAMS  
Existing & Proposed- 21June 8am & 12pm

boffa robertson group  
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Tel: (02) 9406 7000  
Fax: (02) 9406 7009  
Email: brgroup@brgr.net

Date	JAN 2019	Job No.	Drawing
Scale	1: 500		1912/ DA17
Drawn	VI		
Amendment	B		





21 JUNE 8AM  
PROPOSED

A	Development Application Issue	01.06.2021
No.	Amendment	Date
Project		
FRENCHMANS LODGE		
11-15, 17 & 19 Frenchmans Road, RANDWICK		
Drawing		
DIRECT SUN ANALYSIS		
DIAGRAM 21 June 8am		



**boffa robertson group**  
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**br**  
**iqg**

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Tel: (02) 9406 7000  
Fax: (02) 9406 7009  
Email: brgroup@brgr.net

Date	JUN 2021	Job No.	Drawing
Scale	NTS		
Drawn	VI		1912 / DA18a
Amendment	A		





21 JUNE 9AM  
PROPOSED

A	Development Application Issue	01.06.2021
No.	Amendment	Date
Project		
FRENCHMANS LODGE		
11-15, 17 & 19 Frenchmans Road, RANDWICK		
Drawing		
DIRECT SUN ANALYSIS		
DIAGRAM 21 June 9am		

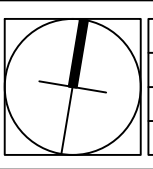


**SUMMITCARE**

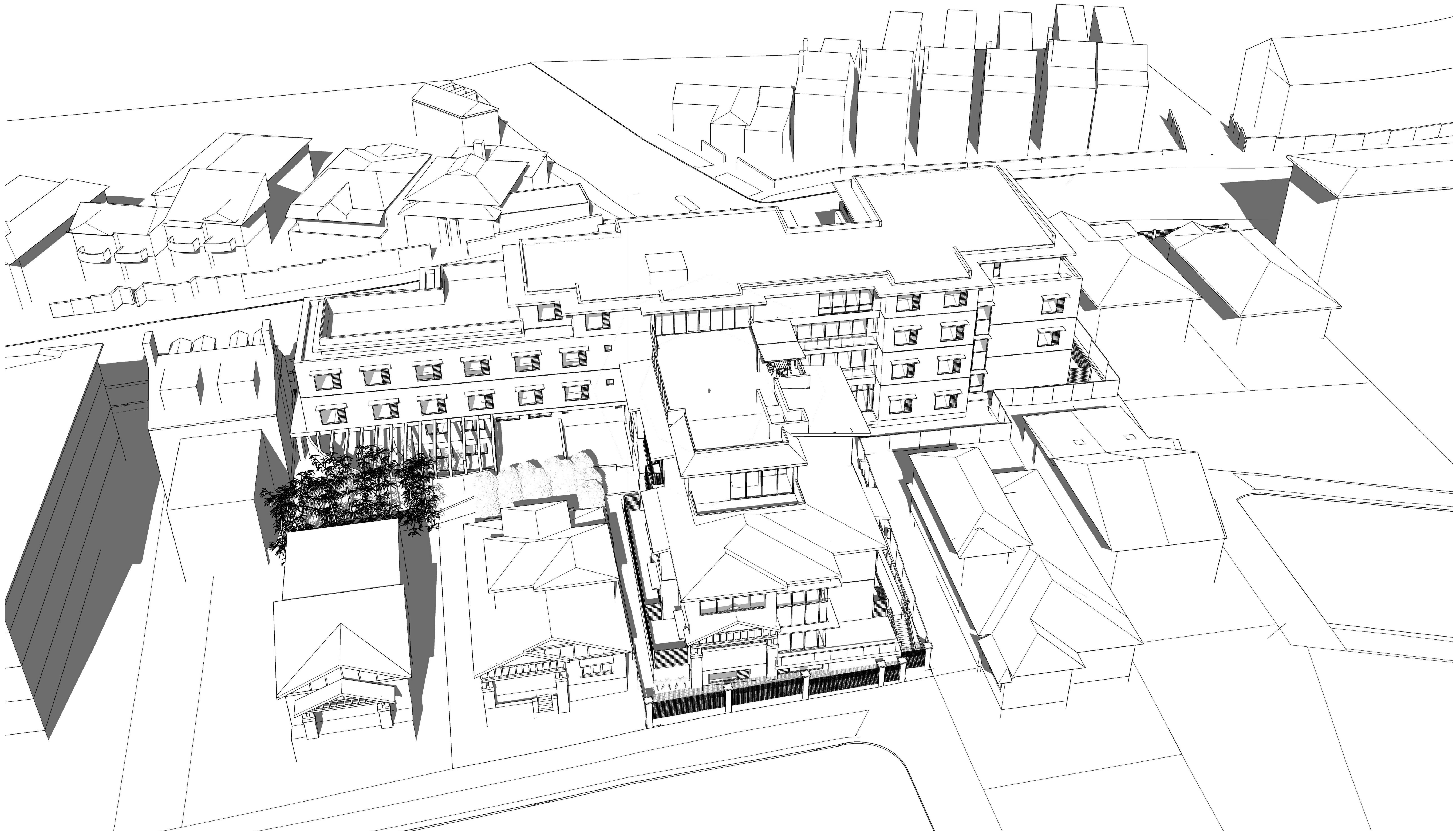
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Fax: (02) 9406 7009  
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	Date	JUN 2021	Job No.	Drawing
	Scale	NTS		
	Drawn	VI		1912 / DA18b
	Amendment	A		





21 JUNE 12PM  
PROPOSED

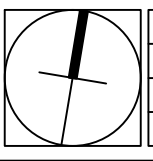
A	Development Application Issue	01.06.2021
No.	Amendment	Date
Project		
FRENCHMANS LODGE		
11-15, 17 & 19 Frenchmans Road, RANDWICK		
Drawing		
DIRECT SUN ANALYSIS		
DIAGRAM 21 June 12pm		



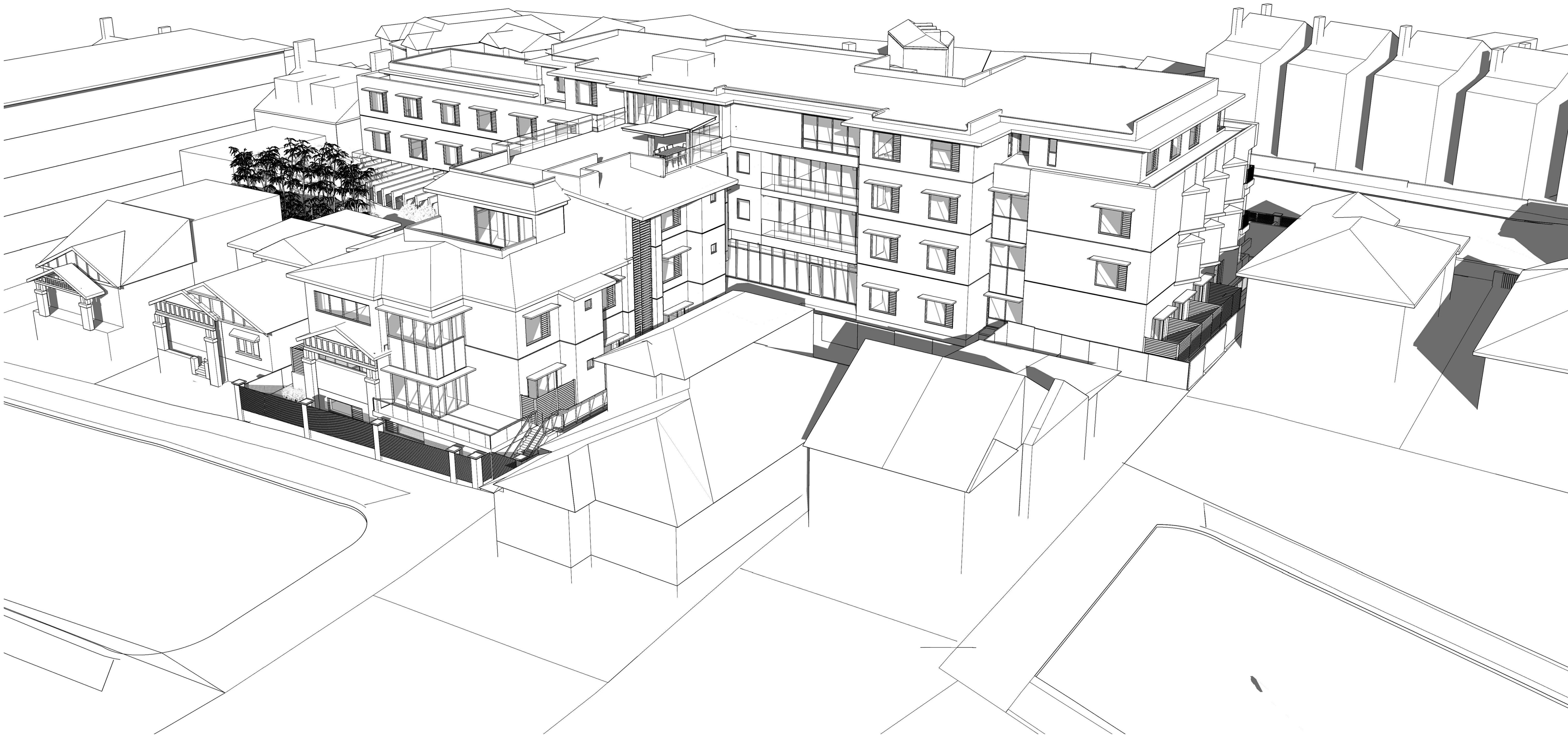
**boffa robertson group**  
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	Date	JUN 2021	Job No.	Drawing
	Scale	NTS		
	Drawn	VI		1912 / DA18c
	Amendment	A		





21 JUNE 3PM  
PROPOSED

A	Development Application Issue	01.06.2021
No.	Amendment	Date
Project		
FRENCHMANS LODGE		
11-15, 17 & 19 Frenchmans Road, RANDWICK		
Drawing		
DIRECT SUN ANALYSIS		
DIAGRAM 21 June 3pm		



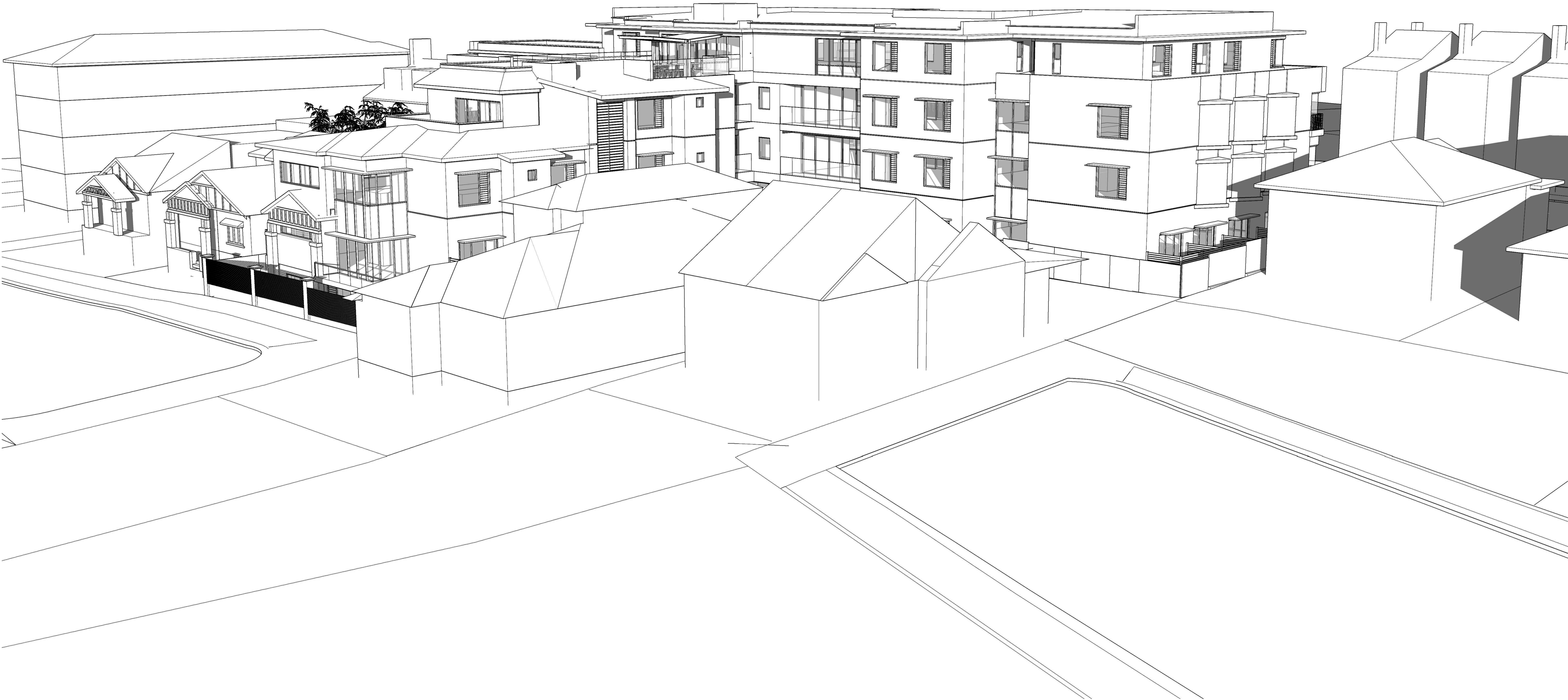
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architecture, health and aged care planning, project management

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**iqg**

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Fax: (02) 9406 7099  
Email: brgroup@brgr.net

Date	JUN 2021	Job No.	Drawing
Scale	NTS		
Drawn	VI		1912 / DA18d
Amendment	A		





21 JUNE 4PM  
PROPOSED

A	Development Application Issue	01.06.2021
No.	Amendment	Date
Project		
FRENCHMANS LODGE		
11-15, 17 & 19 Frenchmans Road, RANDWICK		
Drawing		
DIRECT SUN ANALYSIS		
DIAGRAM 21 June 4pm		



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architecture, health and aged care planning, project management

**br**  
**iqg**

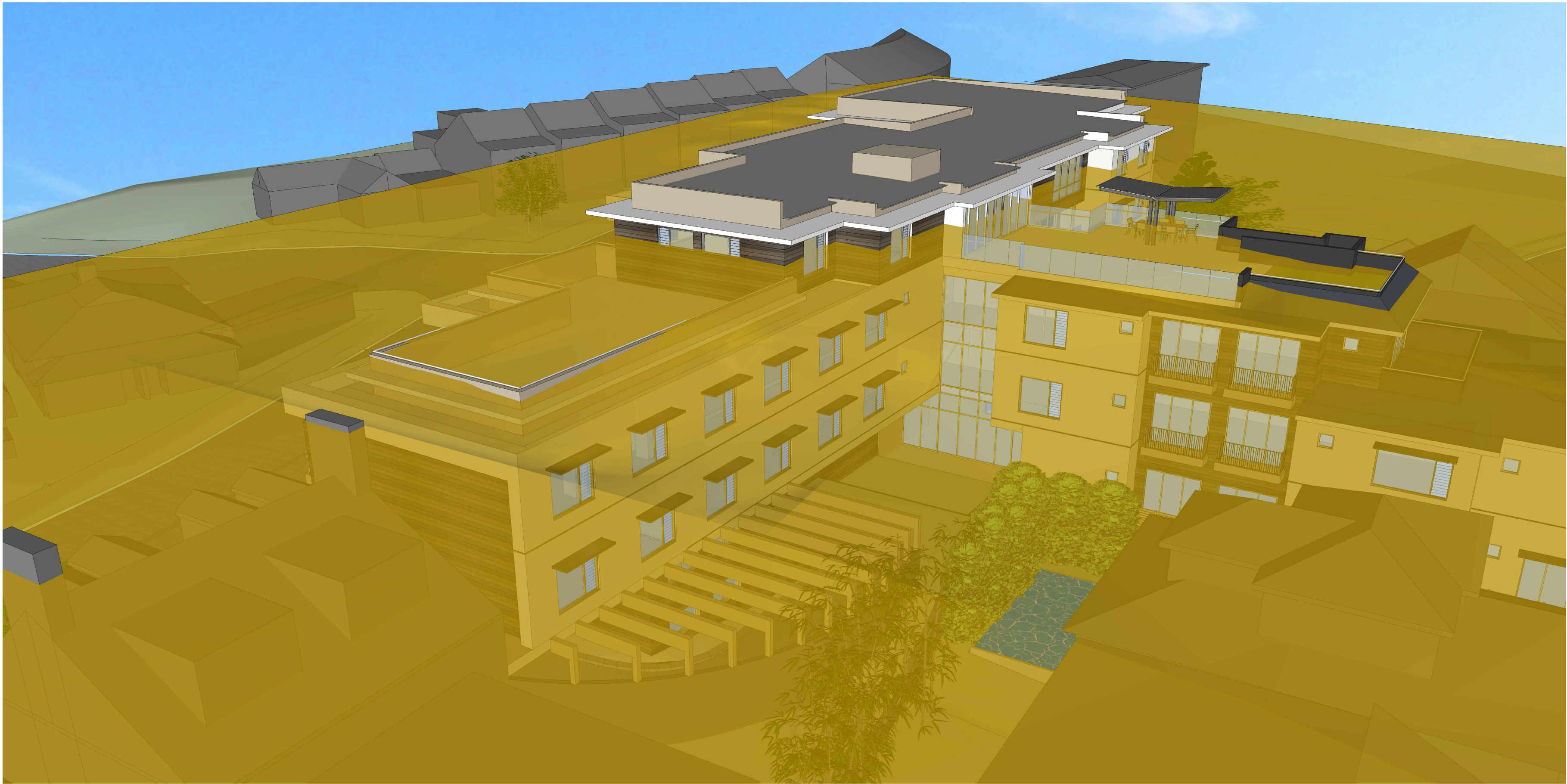
Suite 7, Level 1, Epica, 9 Railway Street  
Cherrywood NSW 2067  
AUSTRALIA  
Tel: (02) 9406 7000  
Fax: (02) 9406 7099  
Email: brgroup@brgr.net

Date	JUN 2021	Job No.	Drawing
Scale	NTS	1912 / DA18e	
Drawn	VI		
Amendment	A		





WEST - 3D IMAGE



EAST - 3D IMAGE

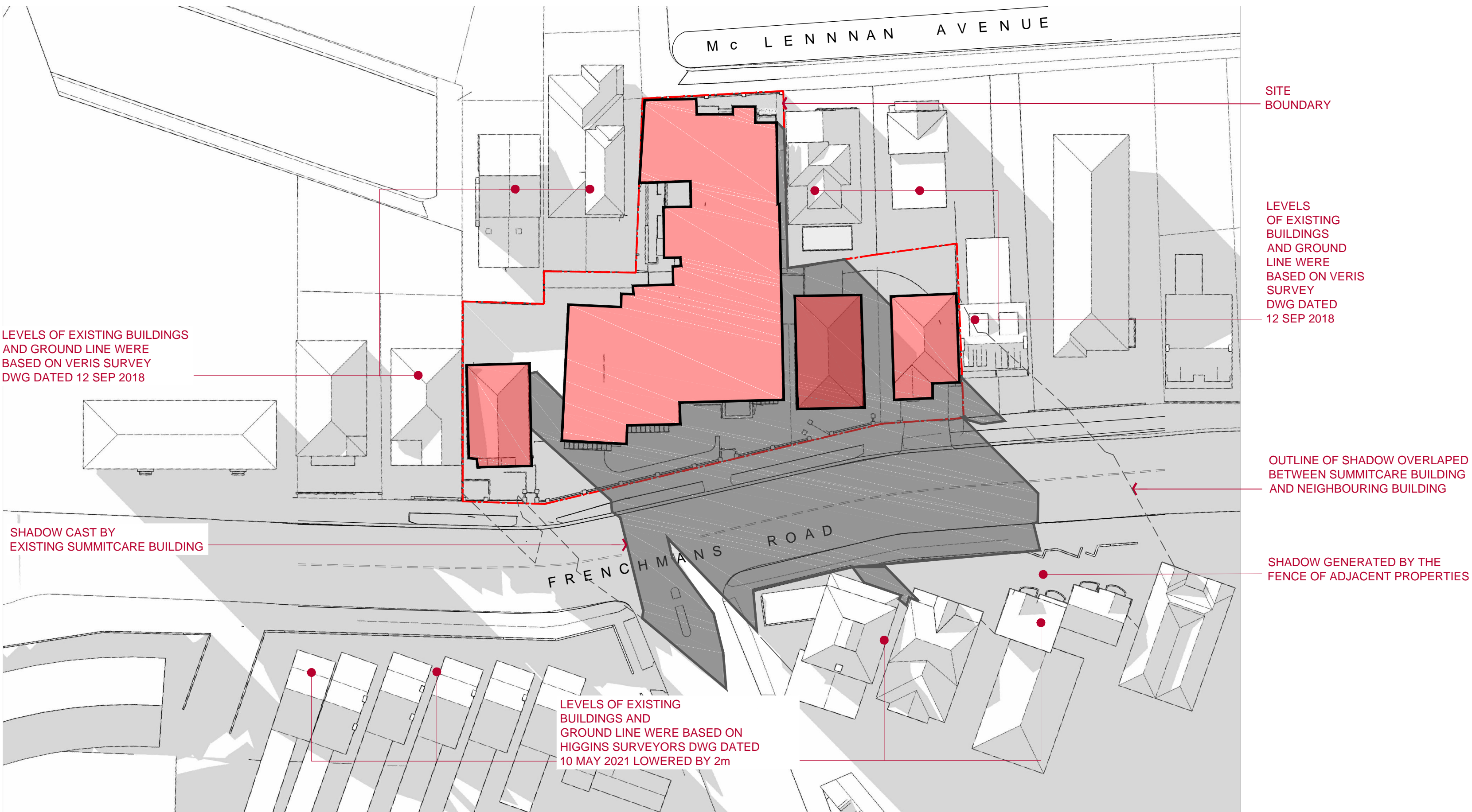
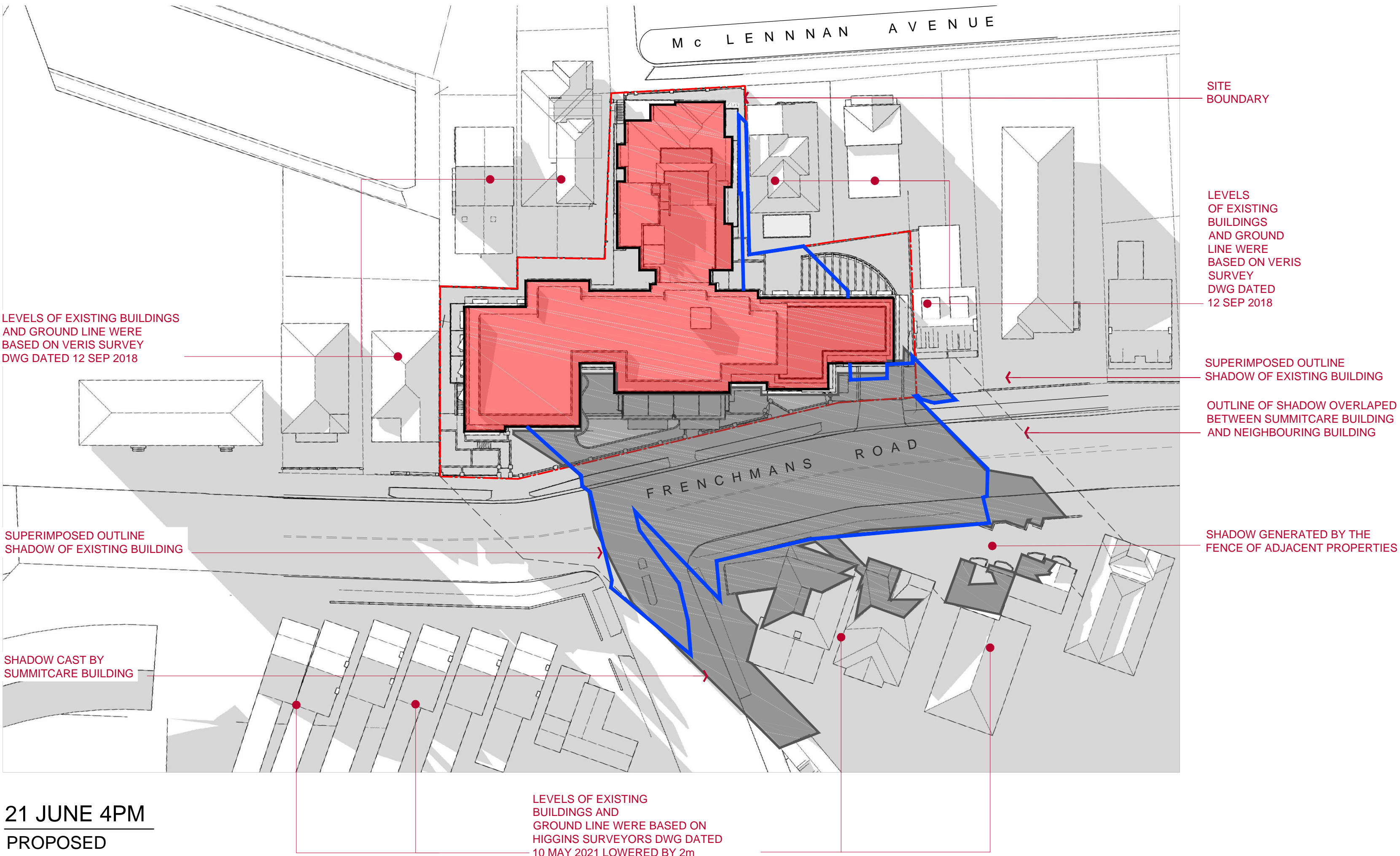
The above graphics are showing the 3D model of the proposed development with the 12m height control represented by a yellow coloured plane. These images demonstrate the extent of built form that penetrates the height control

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
3D IMAGE Showing  
built form penetrating 12m height

Date	JAN 2019	Job No.	Drawing
Scale	1:500		
Drawn	SS	1912 /	DA18f
Amendment	B		





LEGEND	
	BUILDING ROOF OUTLINE
	SHADOW CAST BY SUMMITCARE BUILDING
	SHADOW CAST BY NEIGHBOURING BUILDING
	OUTLINE OF SHADOW OVERLAPED BETWEEN SUMMITCARE BUILDING AND NEIGHBOURING BUILDING
	SUPERIMPOSED OUTLINE SHADOW OF EXISTING BUILDING
	SITE BOUNDARY

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	25.05.2021
No.	Amendment	Date
Project		
FRENCHMANS LODGE		
11-15, 17 & 19 Frenchmans Road, RANDWICK		
Drawing		
SHADOW DIAGRAMS		
Existing & Proposed- 21June 4pm		

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Date	JAN 2019	Job No.	Drawing
Scale	1:500	1912 / DA18	
Drawn	VI		
Amendment	B		

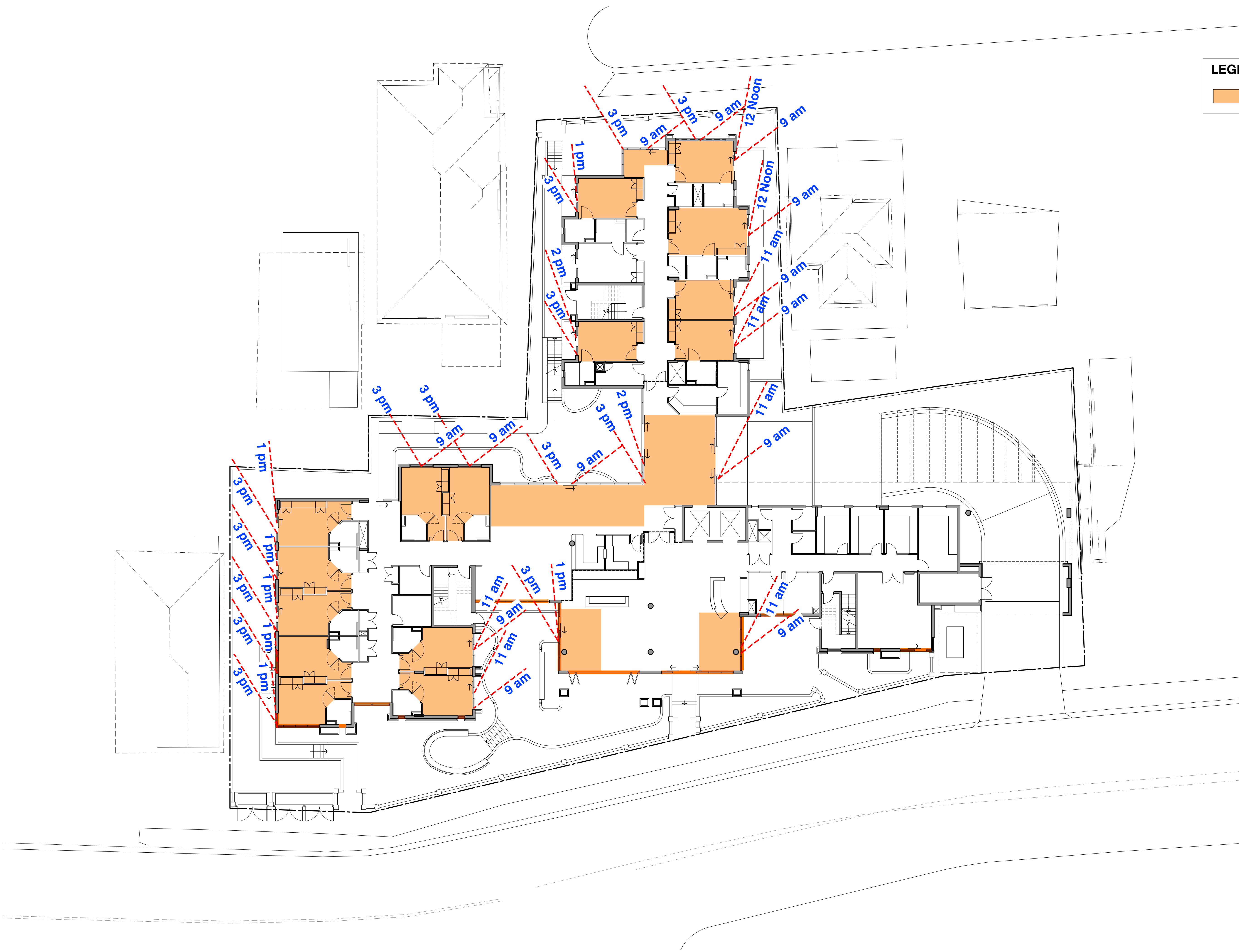




# LEGEND



Rooms with **SOLAR ACCESS**  
between 9am to 3pm



0m  
SCALE: NTS  
0m

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing  
SOLAR ACCESS DIAGRAM -  
GROUND FLOOR



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Email: brgroup@brgr.net

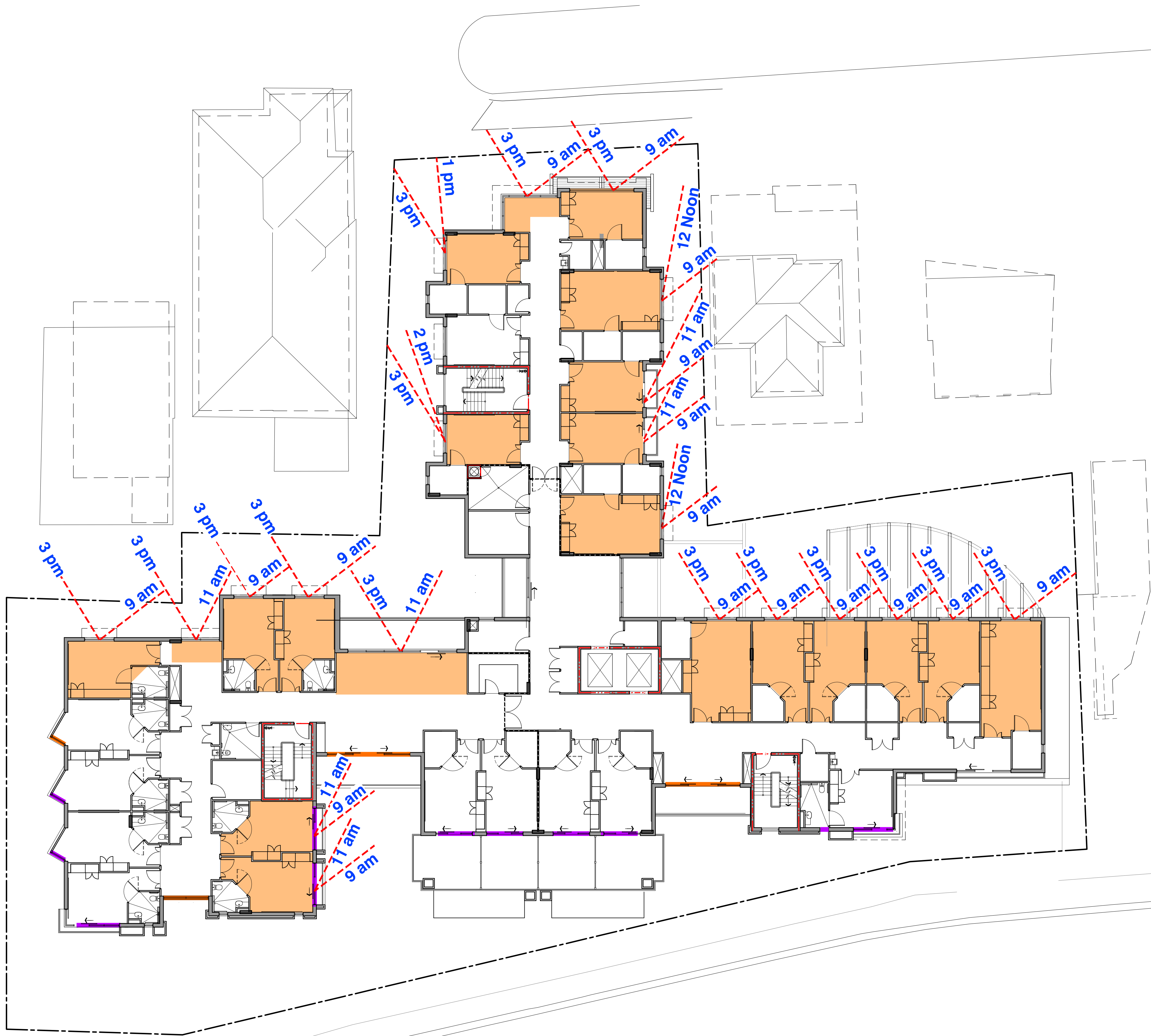
	Date	AUG 2020	Job No.	Drawing
	Scale	NTS		
	Drawn	AL	1912/	DA19
	Amendment	B		



# LEGEND



Rooms with **SOLAR ACCESS**  
between 9am to 3pm



0m  
SCALE: NTS  
0m

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing  
SOLAR ACCESS DIAGRAM -  
FIRST FLOOR



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rsg  
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Tel: (02) 9406 7000  
Fax: (02) 9406 7009  
Email: brgroup@brgr.net

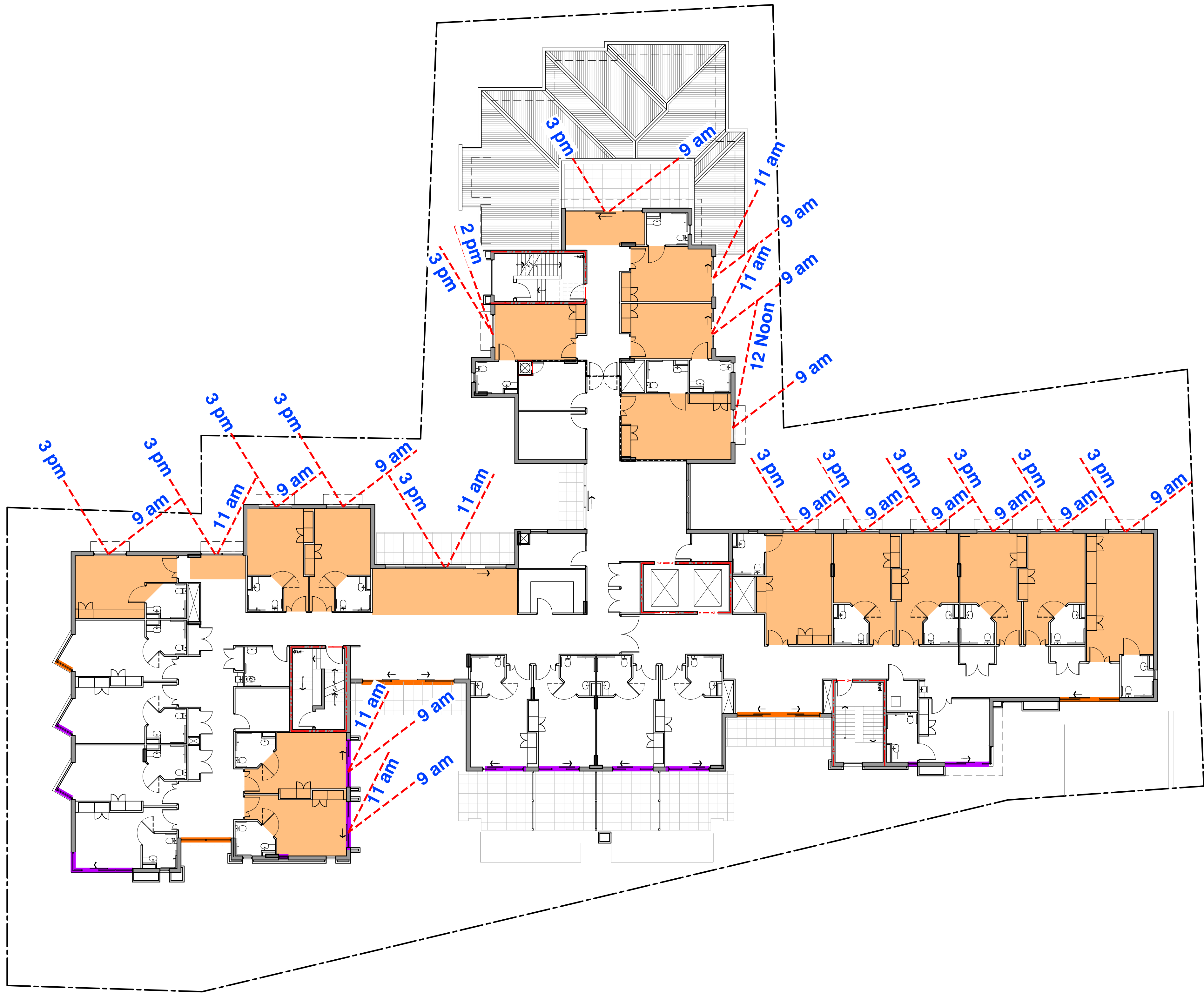
Date	AUG 2020	Job No.	Drawing
Scale	NTS		
Drawn	AL		1912/ DA19a
Amendment	B		



## LEGEND



Rooms with **SOLAR ACCESS**  
between 9am to 3pm



0m  
SCALE: NTS  
0m

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing  
SOLAR ACCESS DIAGRAM -  
SECOND FLOOR



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Fax: (02) 9406 7009  
Email: brgroup@brgr.net

Date	AUG 2020	Job No.	Drawing
Scale	NTS		
Drawn	AL		
Amendment	B		

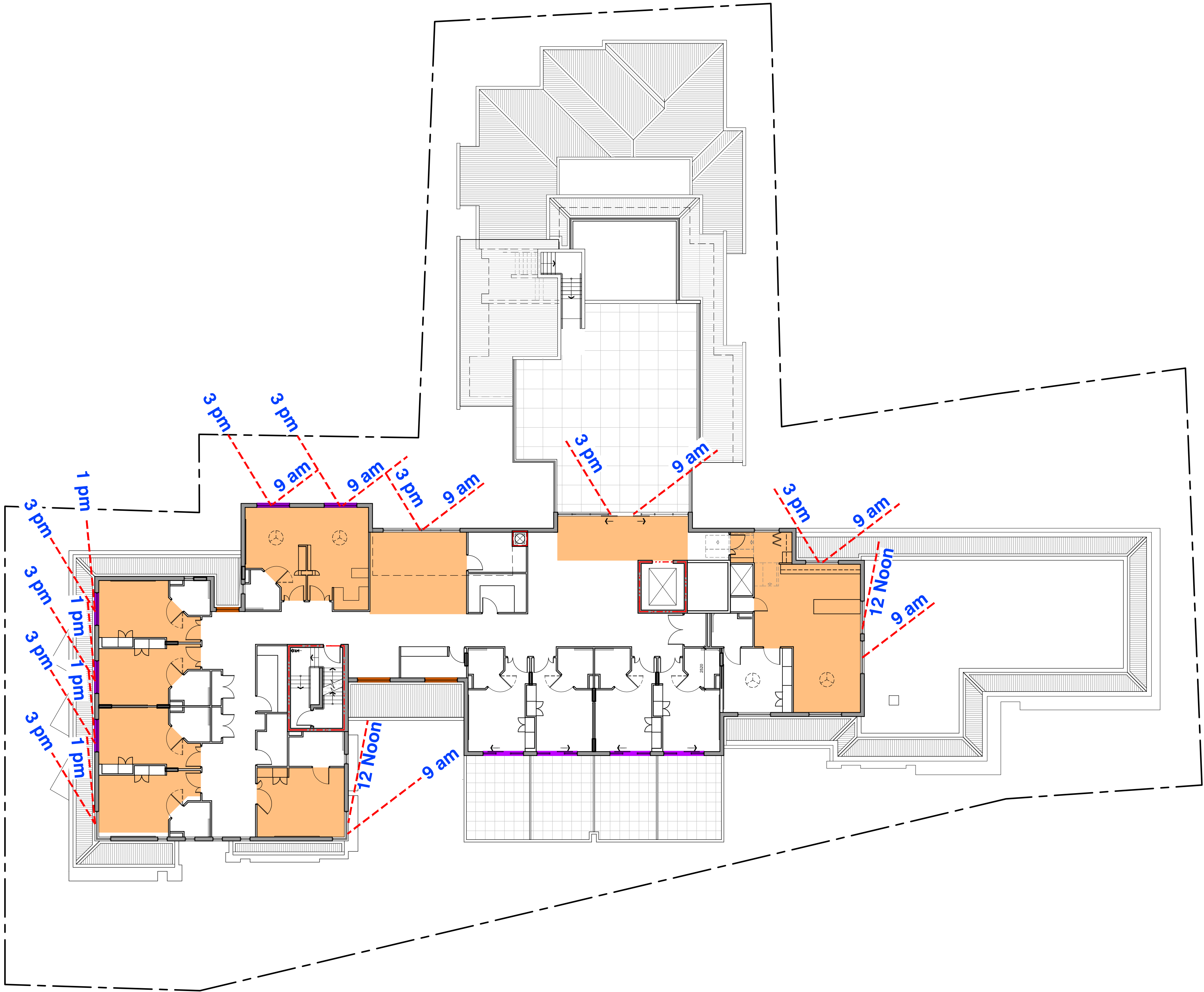
1912/ DA19b



LEGEND



Rooms with **SOLAR ACCESS**  
between 9am to 3pm



0m  
SCALE: NTS  
0m

B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing  
SOLAR ACCESS DIAGRAM -  
THIRD FLOOR



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Email: brgroup@brgr.net

Date	AUG 2020	Job No.	Drawing
Scale	NTS		
Drawn	AL		1912/ DA19c
Amendment	B		



**GROSS FLOOR AREA**

	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT.FL.	-
BASEMENT.FL.	83.0 m <sup>2</sup>
GROUND FL.	737.3 m <sup>2</sup>
FIRST FL.	1,151.1 m <sup>2</sup>
SECOND FL.	1,012.0 m <sup>2</sup>
THIRD FL.	558.0 m <sup>2</sup>
TOTAL	3,458.4 m <sup>2</sup>

## LEGEND

	AREAS INCLUDED IN THE GFA CALCULATIONS
	AREAS EXCLUDED IN THE GFA CALCULATIONS



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date


Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

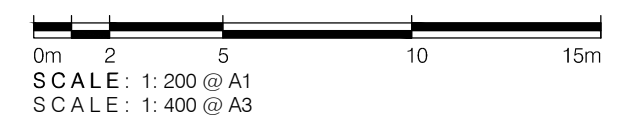
Drawing  
GROSS FLOOR AREA DIAGRAM -  
GROUND FLOOR PLAN



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	Date	JAN 2019	Job No. : Drawing  2017 / DA20
	Scale	AS SHOWN	
	Drawn	SS	
	Amendment	B	

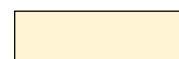



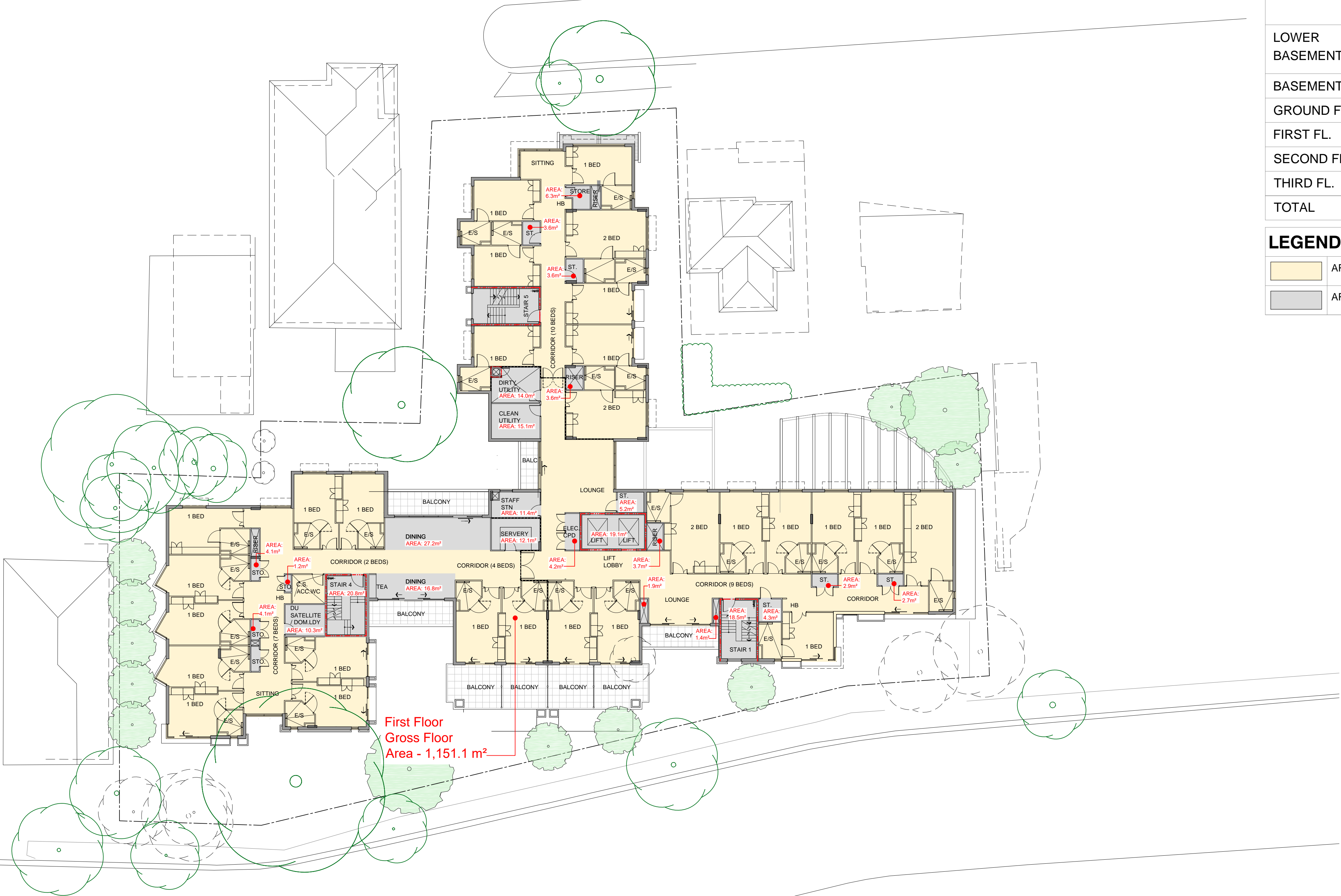


GROSS FLOOR AREA

	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT.FL.	-
BASEMENT.FL.	83.0 m <sup>2</sup>
GROUND FL.	737.3 m <sup>2</sup>
FIRST FL.	1,151.1 m <sup>2</sup>
SECOND FL.	1,012.0 m <sup>2</sup>
THIRD FL.	558.0 m <sup>2</sup>
TOTAL	3,458.4 m <sup>2</sup>

LEGEND

	AREAS INCLUDED IN THE GFA CALCULATIONS
	AREAS EXCLUDED IN THE GFA CALCULATIONS



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
GROSS FLOOR AREA DIAGRAM -  
FIRST FLOOR PLAN

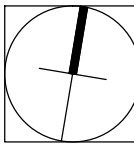


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Email: brgroup@brgr.net

0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3

	Date	JAN 2019	Job No.	Drawing
	Scale	AS SHOWN		
	Drawn	SS	2017 /	DA21
	Amendment	B		

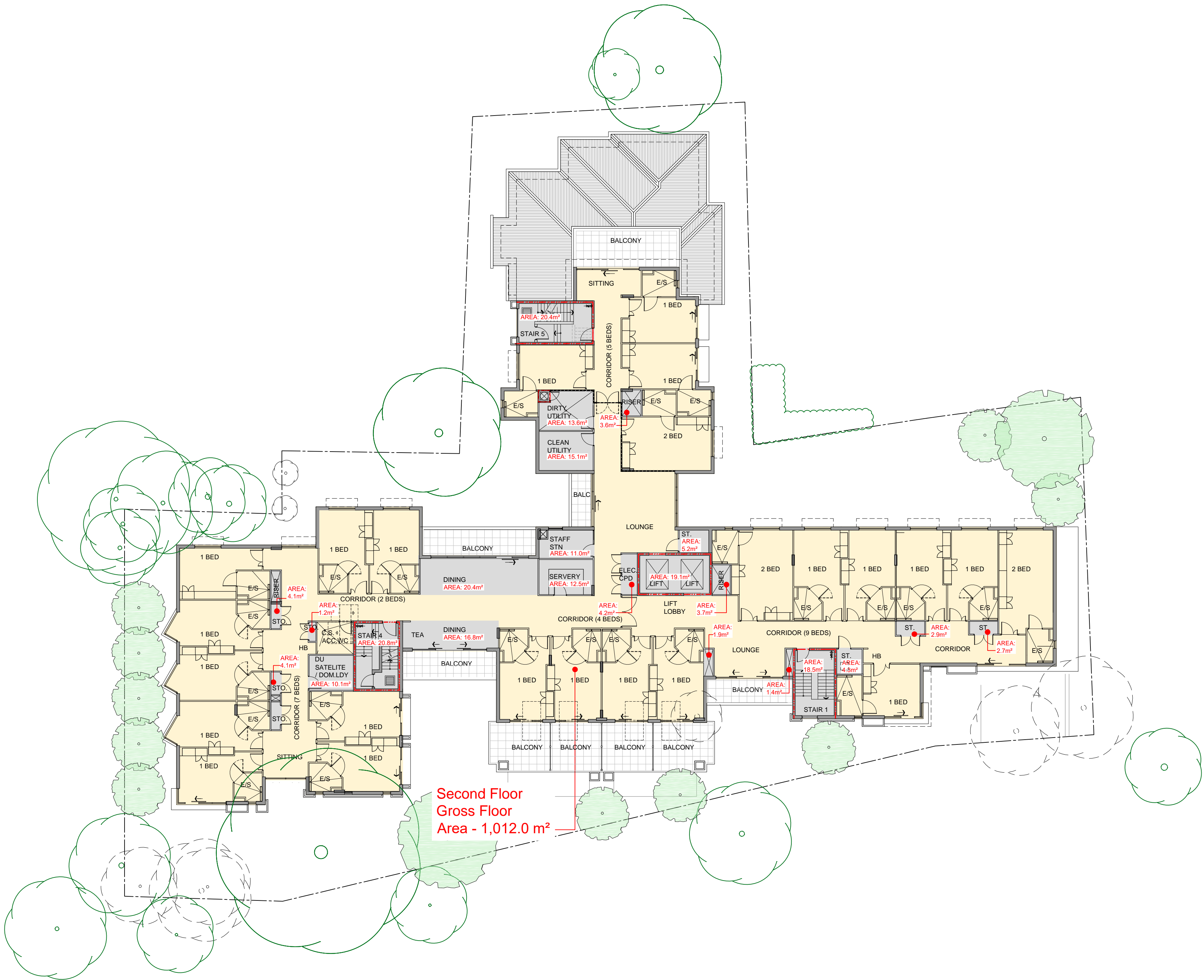


GROSS FLOOR AREA

	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT.FL.	-
BASEMENT.FL.	83.0 m <sup>2</sup>
GROUND FL.	737.3 m <sup>2</sup>
FIRST FL.	1,151.1 m <sup>2</sup>
SECOND FL.	1,012.0 m <sup>2</sup>
THIRD FL.	558.0 m <sup>2</sup>
TOTAL	3,458.4 m <sup>2</sup>

LEGEND

<div></div>	AREAS INCLUDED IN THE GFA CALCULATIONS
<div></div>	AREAS EXCLUDED IN THE GFA CALCULATIONS



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
GROSS FLOOR AREA DIAGRAM -  
SECOND FLOOR PLAN



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Email: brgroup@brgr.net

	Date	JAN 2019	Job No.	Drawing
	Scale	AS SHOWN		
	Drawn	SS	2017 /	DA22
	Amendment	B		

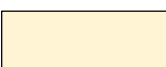

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SCALE: 1: 400 @ A3

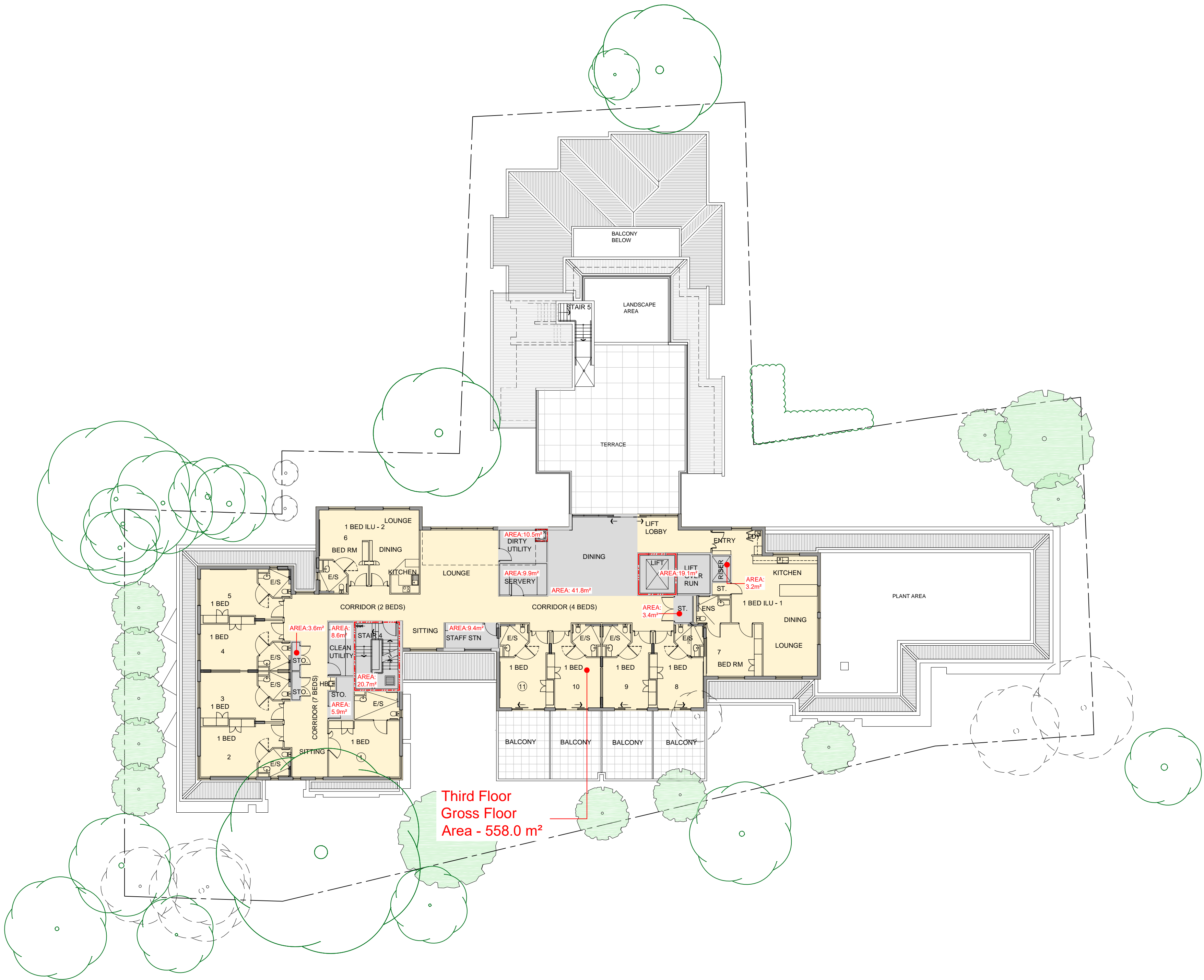


GROSS FLOOR AREA

	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT.FL.	-
BASEMENT.FL.	83.0 m <sup>2</sup>
GROUND FL.	737.3 m <sup>2</sup>
FIRST FL.	1,151.1 m <sup>2</sup>
SECOND FL.	1,012.0 m <sup>2</sup>
THIRD FL.	558.0 m <sup>2</sup>
TOTAL	3,458.4 m <sup>2</sup>

LEGEND

	AREAS INCLUDED IN THE GFA CALCULATIONS
	AREAS EXCLUDED IN THE GFA CALCULATIONS



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

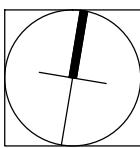
Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
GROSS FLOOR AREA DIAGRAM -  
THIRD FLOOR PLAN



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	Date	JAN 2019	Job No.	Drawing
	Scale	AS SHOWN		
	Drawn	SS	2017 /	DA23
	Amendment	B		

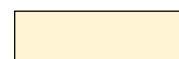

0m 2 5 10 15m  
SCALE: 1: 200 @ A1  
SCALE: 1: 400 @ A3

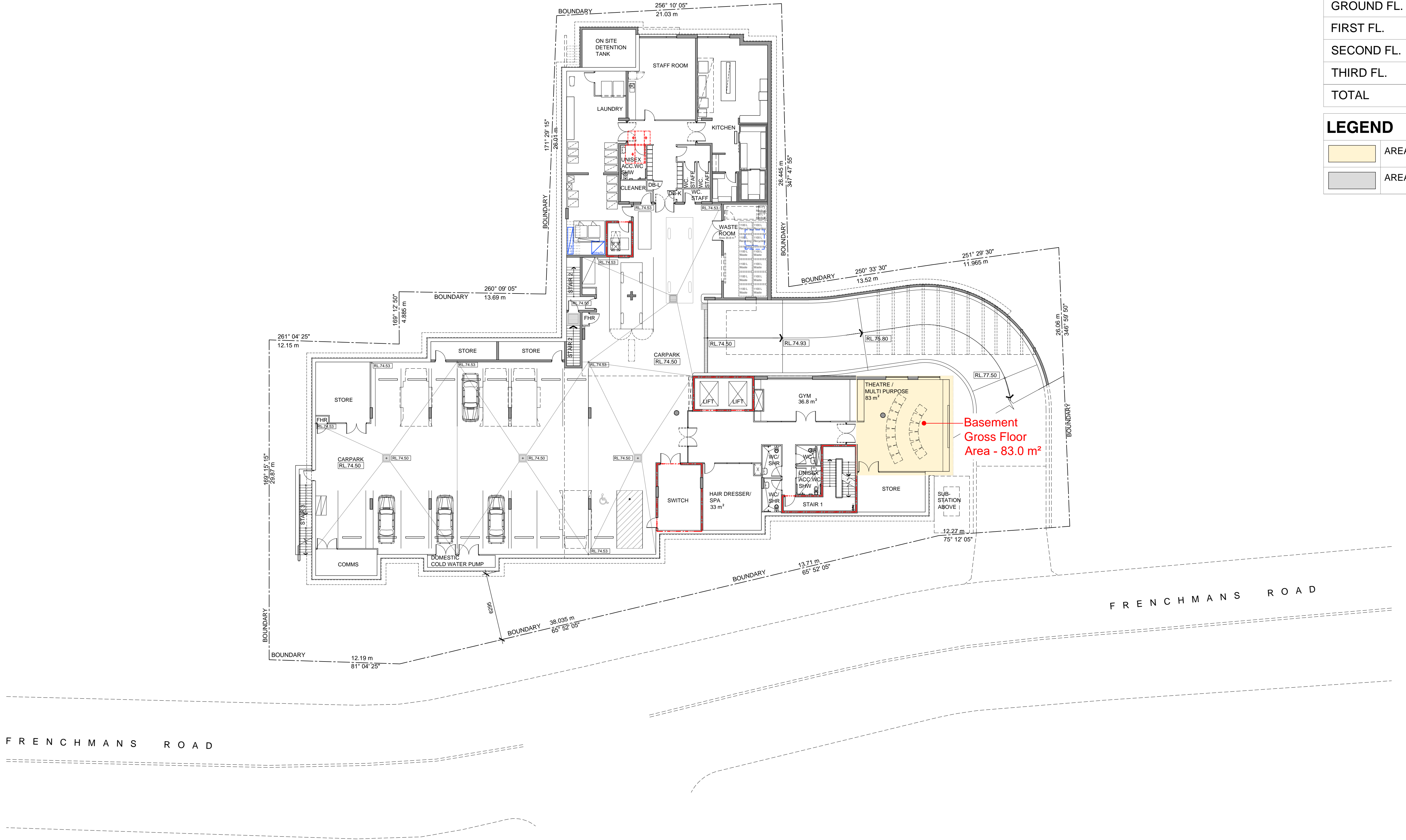


## GROSS FLOOR AREA

	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT.FL.	-
BASEMENT.FL.	83.0 m <sup>2</sup>
GROUND FL.	737.3 m <sup>2</sup>
FIRST FL.	1,151.1 m <sup>2</sup>
SECOND FL.	1,012.0 m <sup>2</sup>
THIRD FL.	558.0 m <sup>2</sup>
TOTAL	3,458.4 m <sup>2</sup>

## LEGEND

	AREAS INCLUDED IN THE GFA CALCULATIONS
	AREAS EXCLUDED IN THE GFA CALCULATIONS



B	Development Application Re-Issue	01.06.2021
A	Development Application Re-Issue	14.05.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
GROSS FLOOR DIAGRAM -  
BASEMENT FLOOR PLAN

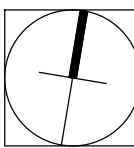


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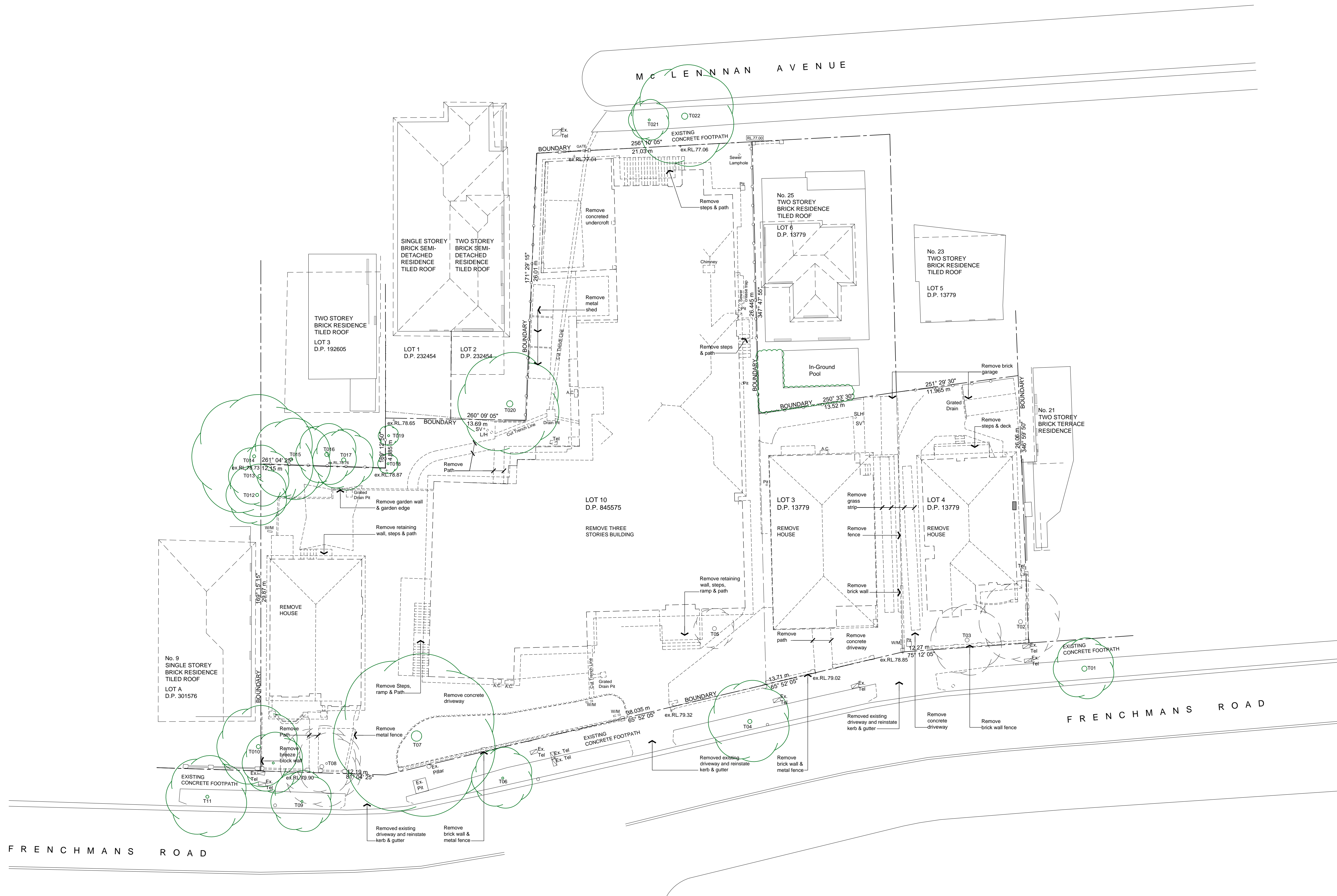


	Date	JAN 2019	Job No.	Drawing
	Scale	AS SHOWN		
	Drawn	SS / WW	2017 /	DA23a
	Amendment	B		



## LEGEND

---	BOUNDARY
---	EXISTING WALLS, DOORS, WINDOWS, FENCE, RETAINING WALL, SANITARY's, DRIVEWAY, PATH, PIT, SERVICES TO BE REMOVED
---	EXISTING FENCE TO BE RETAINED
○	EXISTING TREES TO REMAIN
○	TREES TO BE REMOVED
+ ex.RL.0.0	EXISTING LEVELS
RL.00.00	PROPOSED LEVELS



B	Development Application Re-Issue	01.06.2021
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No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick  
Drawing  
DEMOLITION PLAN

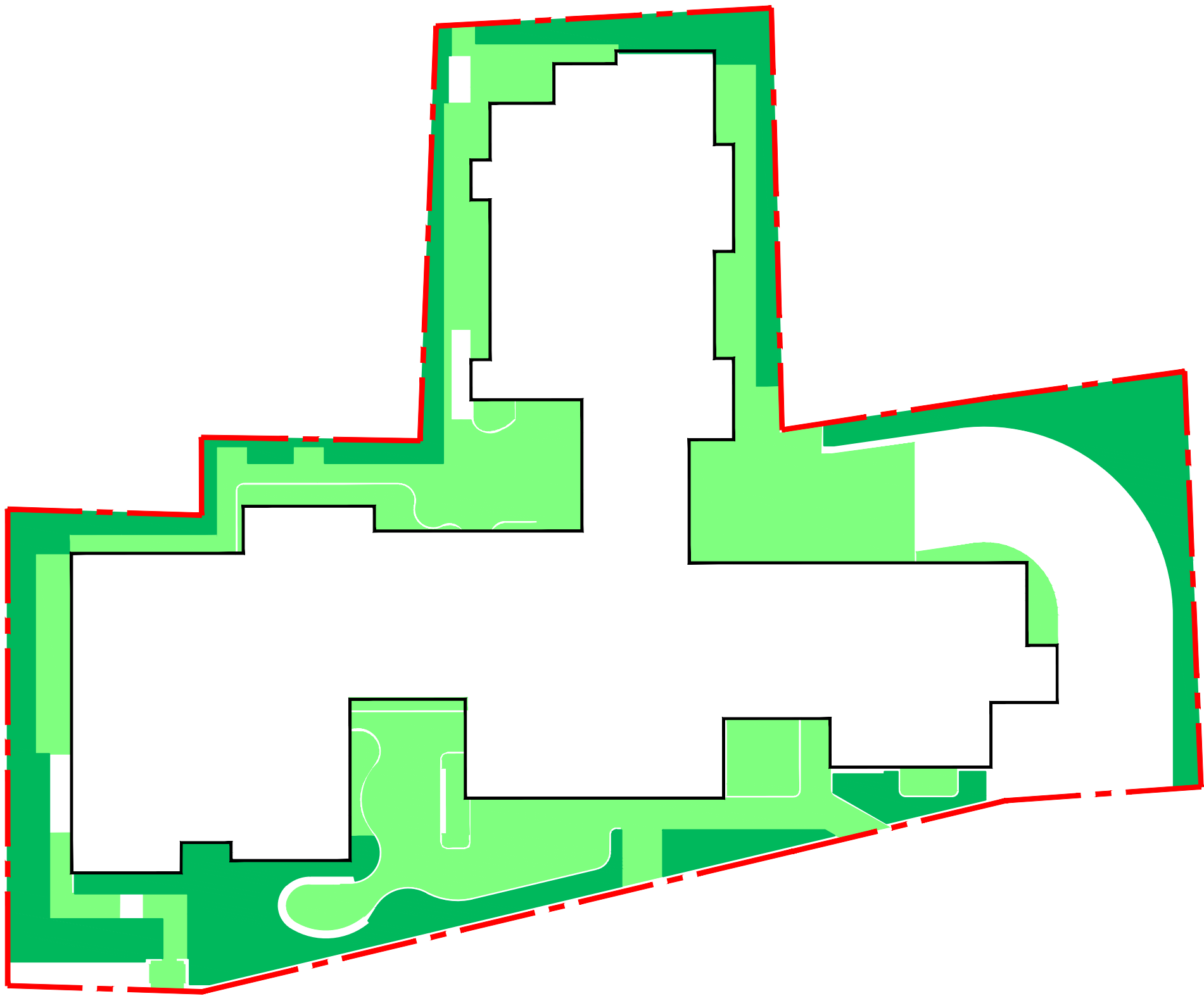


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architecture, health and aged care planning, project management  
Suite 7, Level 1, Epica, 9 Railway Street  
Chadstone NSW 2067  
AUSTRALIA  
Tel: (02) 9406 7000  
Fax: (02) 9406 7009  
Email: brgroup@brgr.net

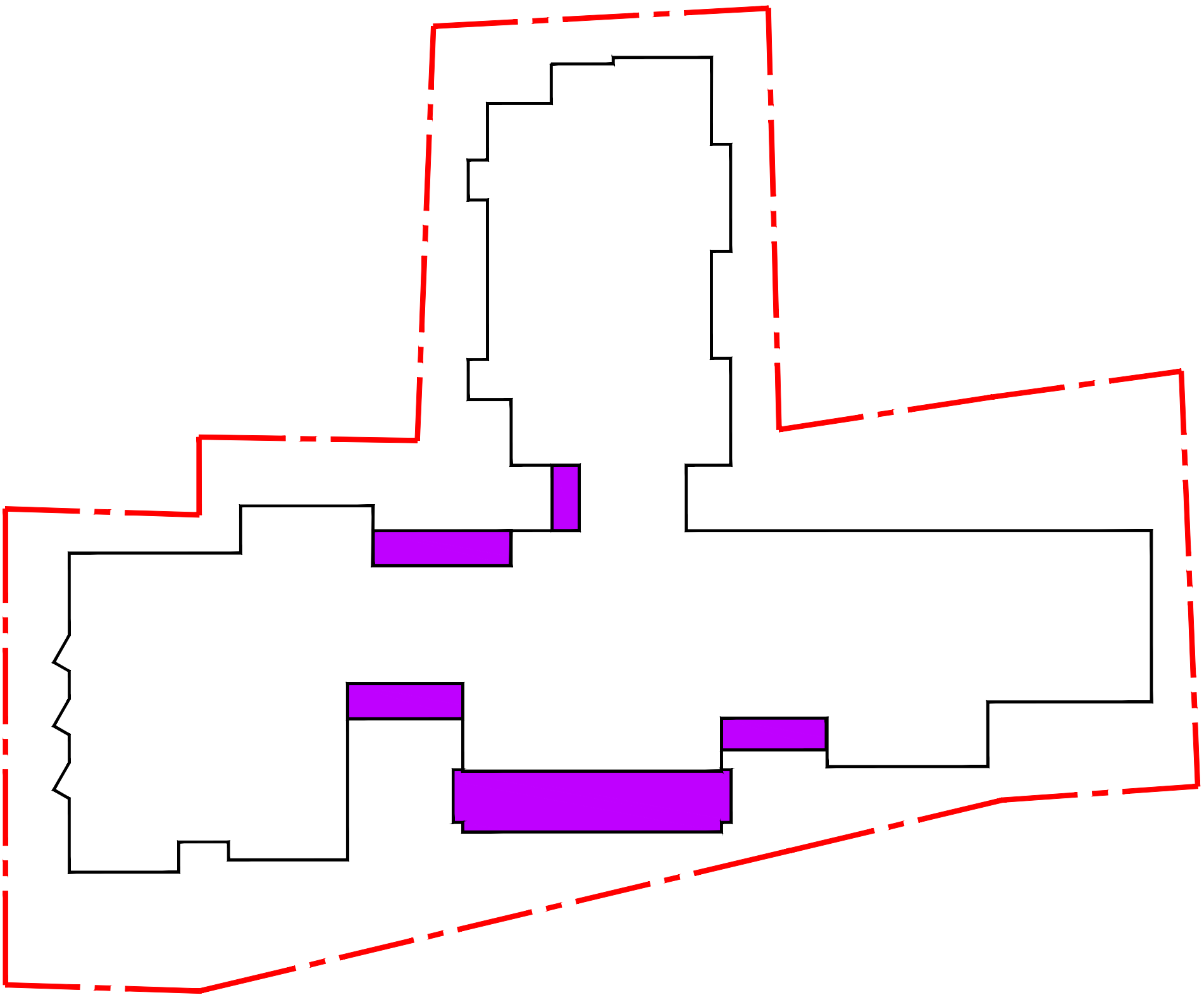
Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	SS		
Amendment	B		

1912 / DA24

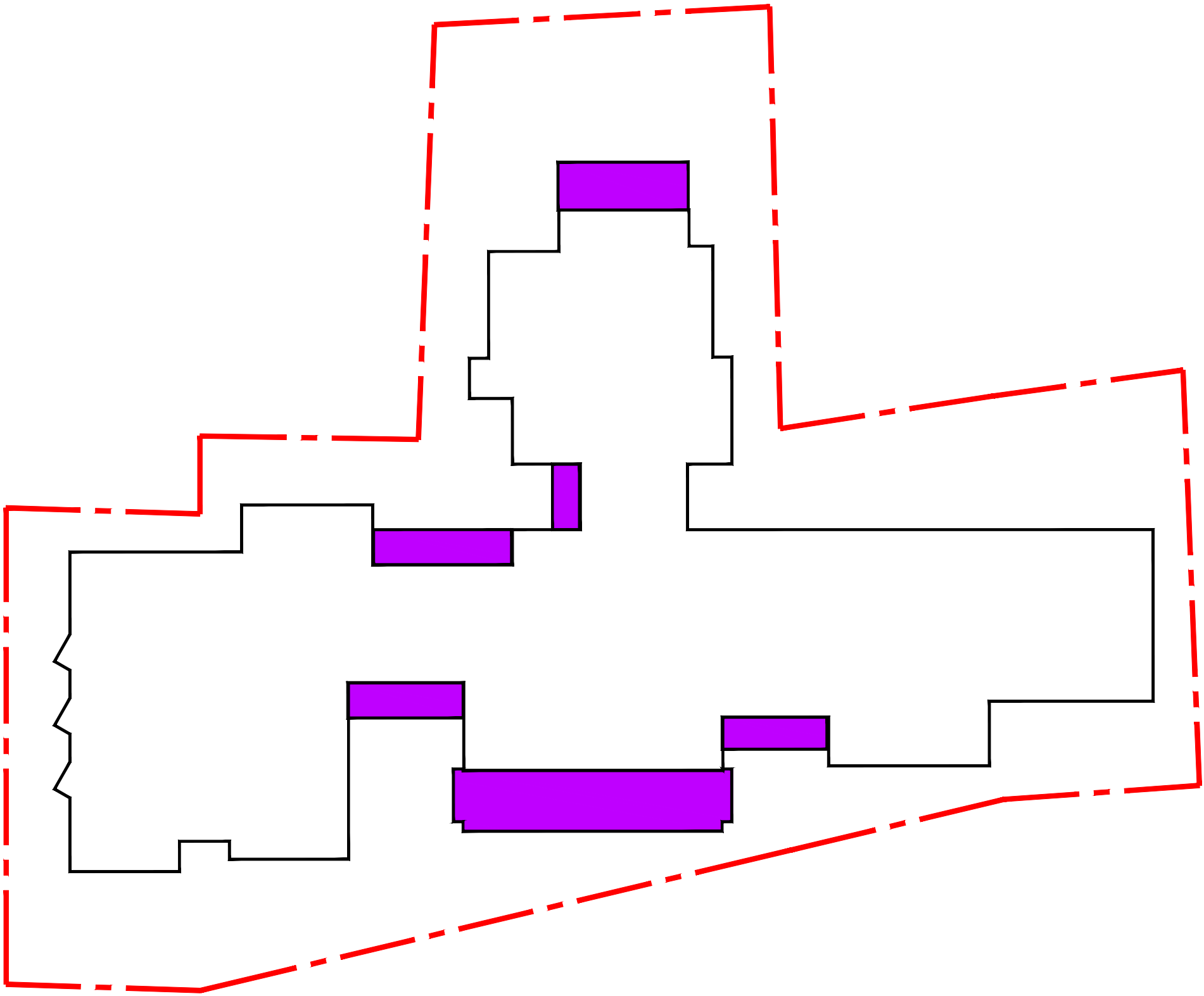




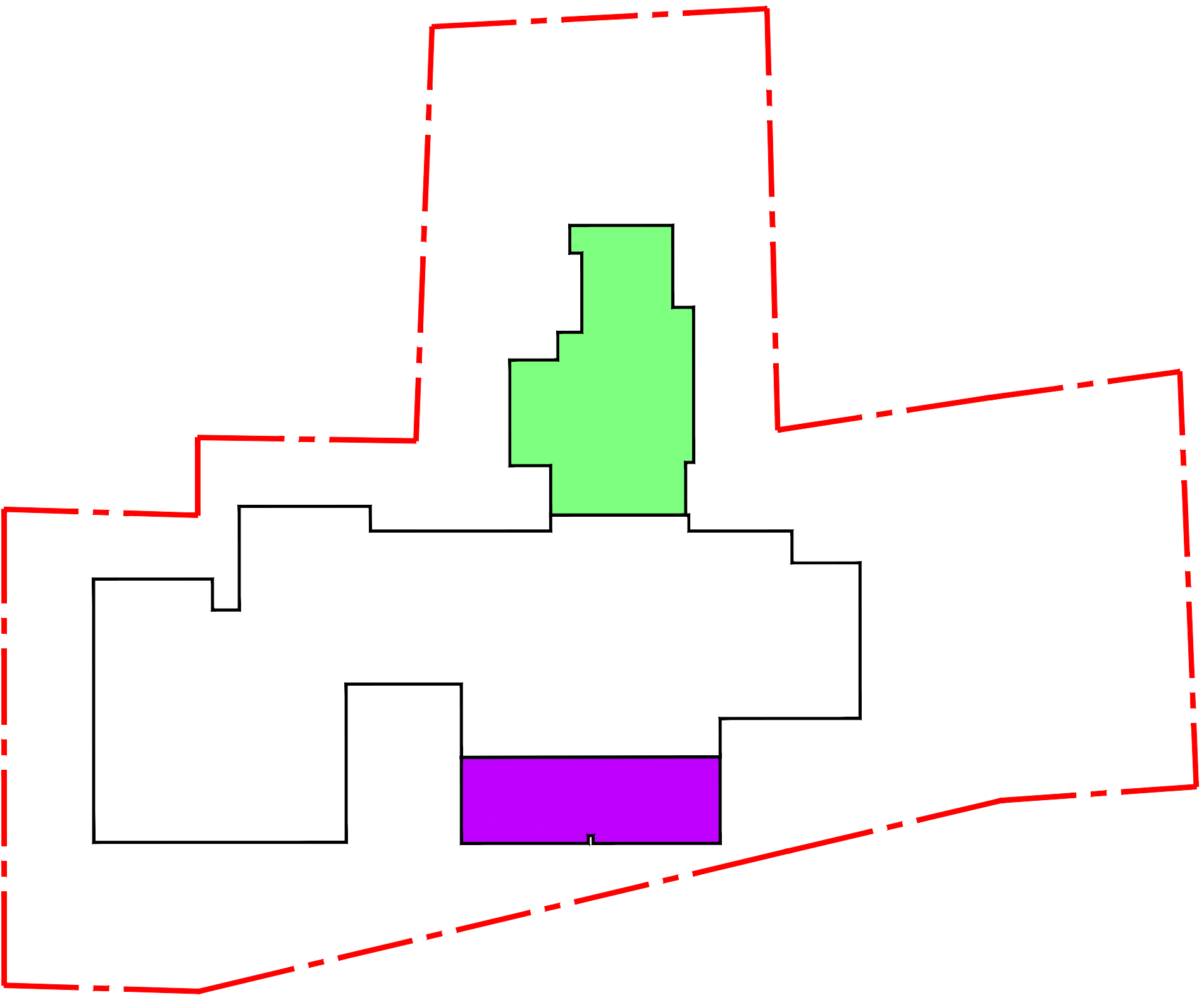
Proposed Ground Floor



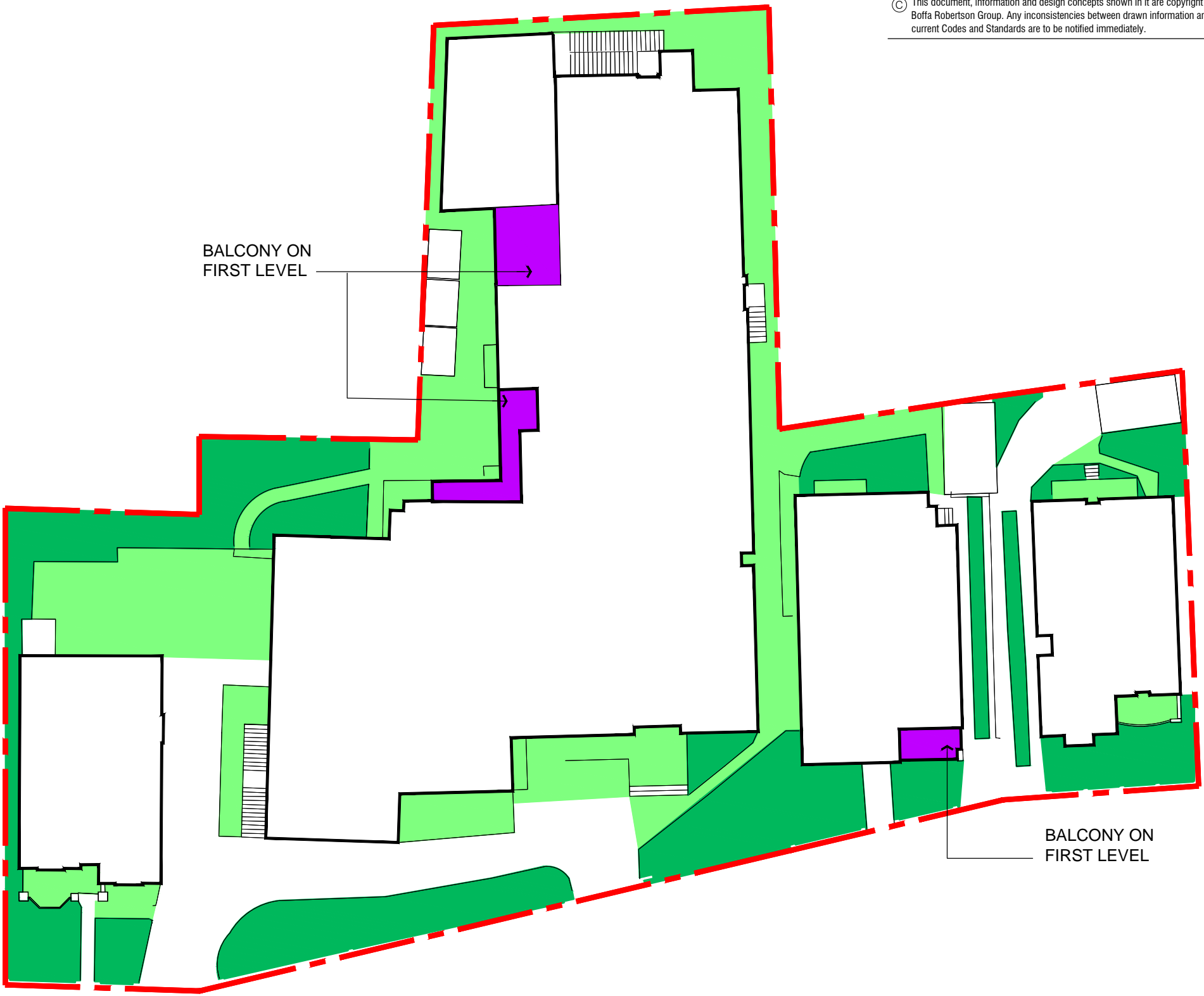
Proposed First Floor



Proposed Second Floor



Proposed Third Floor



Existing Ground floor

EXISTING LANDSCAPE CALCULATION

	DEEP SOIL AREAS	424.2 m <sup>2</sup>
	LANDSCAPE AREAS INCLUDING DEEP SOIL AREAS	908.5 m <sup>2</sup>
	BALCONIES AREAS	44.1 m <sup>2</sup>
	TOTAL	952.6m <sup>2</sup>
	DEEP SOIL	15.7% of Site Area

PROPOSED LANDSCAPE CALCULATION

	DEEP SOIL AREAS	450.7 m <sup>2</sup>
	LANDSCAPE AREAS INCLUDING DEEP SOIL AREAS	1247.5 m <sup>2</sup>
	BALCONIES AREAS	332.1 m <sup>2</sup>
	TOTAL	1579.6m <sup>2</sup>
	DEEP SOIL	16.6% of Site Area

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A	Development Application Issue	01.06.2021
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick  
Drawing  
LANDSCAPE & DEEP SOIL AREAS



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Date	JUN 2021	Job No.	Drawing
Scale	NTS		
Drawn	VI		
Amendment	A		

1912 / DA24a